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SCHEDULE 1 TO CLAUSE 37.08 ACTIVITY CENTRE ZONE

Shown on the planning scheme map as ACZ1.

CRANBOURNE MAJOR ACTIVITY CENTRE

1.0

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Cranbourne Major Activity Centre Framework Plan



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Land use and development objectives to be achieved**Use**

- To encourage uses which support the Cranbourne Major Activity Centre to become a more active, attractive and safe place for the community to live, work and socialise.
- To promote land use which is conducive to high levels of activity through the day and night in the non-residential precincts of the activity centre.
- To recognise the importance the Cranbourne Major Activity Centre plays in providing community services.

Built form

- To facilitate high quality building design and ensure development improves the image of the Cranbourne Major Activity Centre, including by ensuring building materials are attractive, durable and easy to maintain.
- To minimise the impact of non-residential development adjoining residential areas by including acoustic protection and landscape buffers
- To encourage finer grain commercial uses at ground level along street frontages.
- To avoid large freestanding signs and signs becoming a dominant feature in the streetscape by ensuring they are well-designed and integrated into the built form where possible.
- To avoid high and visually impermeable fencing along streets, laneways and public areas and where this cannot be avoided ensure fencing is attenuated with landscaping.
- To encourage development of land adjoining gateways and secondary gateway nodes that provides a sense of arrival, acts as a focal point and positively contributes to creating a contemporary character and improving the image of the Cranbourne Major Activity Centre.
- To avoid the underdevelopment of land which would limit its future development potential.

Access and movement

- To create a vibrant activity centre which is easy, comfortable and safe to get around for people of all ages and abilities.
- To prioritise and support sustainable transport modes to assist in providing a diversity of transport choices to and within the Cranbourne Major Activity Centre.
- To ensure that vehicle access, loading and parking is not a dominant feature of streetscapes.
- To reinforce east-west connections within the centre to increase priority to active transport modes and particularly accessibility to the residential area to the west.
- To reinforce Lyall Street as the primary east-west active and public transport link between the mixed-use commercial core and the Casey Complex and surrounds.
- To ensure the redevelopment of large sites improves accessibility by including pedestrian accessways.

Culture and heritage

- To minimise the impact of development within or adjoining areas of heritage significance through site-responsive design which retains view of the heritage site from adjoining public areas.

Environment, landscape and open space

- To encourage high quality landscape design.
- To ensure environmentally sustainable development principles and features are incorporated into development to reduce energy, water and waste impacts and manage stormwater runoff.

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- To create comfortable microclimates which improve the pedestrian environment by shading footpaths with awnings and tree canopy cover and incorporating vegetation into building facades.
- To create buildings which maximise natural light and ventilation and require minimal heating and cooling.
- To encourage green infrastructure such as water re-use, tree planting, vegetation incorporated into facade design and water-sensitive urban design.
- To enhance the landscape character of the Cranbourne Major Activity Centre by drawing on surrounding features such as the Cranbourne Gardens, Avenue of Honour, Cranbourne Racecourse and Recreation Reserve, boulevards and wide tree-lined streets and incorporate this into the design of public and private open space.
- To encourage the retention of existing mature vegetation.

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Table of uses

Section 1 - Permit not required

Use	Condition
Accommodation (other than Camping and caravan park, Corrective institution, Dependent person's unit, Group accommodation, Host farm and Residential building)	Must be in Precinct 1, 3 or 4. In Precinct 1 or 4 any frontage at ground floor level must not exceed 2 metres.
Cinema	Must be in Precinct 1 or 2.
Cinema-based entertainment facility	In Precinct 2, the site must have access to, or adjoin, a road in a Road Zone.
Exhibition centre	Must be in Precinct 1 or 4.
Food and drink premises	Must be in Precinct 1, 2 or 4. In Precinct 2 or 4 the leasable floor area must not exceed 100 square metres.
Industry (other than Materials recycling, Refuse disposal, Research and development centre, Rural industry, Service industry and Transfer station)	Must be in Precinct 2. Must not be a purpose listed in the table to Clause 53.10 except boiler makers, bakery, small goods production and joinery. Must not be a purpose listed in the table to Clause 53.10 with no threshold specified. The land must be the following distance from land in Precinct 1, 2 or 4, in a residential zone, land used for a hospital, an education centre or a corrective institution or land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution: <ul style="list-style-type: none"> ▪ The threshold distance, for a purpose listed in the table to Clause 53.10. ▪ 30 metres, for a purpose not listed in the table to Clause 53.10. Must not: <ul style="list-style-type: none"> ▪ Exceed a fire protection quantity under the Dangerous Goods (Storage and Handling) Regulations 2012.

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Use	Condition
	<ul style="list-style-type: none"> Require a notification under the Occupational Health and Safety Regulations 2017. Require a license under the Dangerous Goods (explosives) Regulations 2011. Require a license under the Dangerous Goods (HCDG) Regulations 2016.
Informal outdoor recreation	
Major sport and recreation facility	Must be in Precinct 4.
Medical centre	<p>In Precinct 1, 2 or 4 any frontage at ground floor level must not exceed 2 metres except where the floor space adjoining the frontage is a customer service area accessible to the public.</p> <p>In Precinct 3 the gross floor area of all buildings must not exceed 250 square metres.</p>
Office (other than medical centre)	<p>Must be in Precinct 1 or 4.</p> <p>Any frontage at ground floor level must not exceed 2 metres, unless the office is a bank, real estate agency, travel agency, or other office where the space adjoining the frontage is a customer service area accessible to the public.</p>
Place of worship	<p>Must be in Precinct 1 or 3.</p> <p>The gross floor area of all buildings must not exceed 250 square metres.</p> <p>In Precinct 3 the site must adjoin, or have access to, a road in a Road Zone.</p>
Postal agency	<p>In Precinct 3:</p> <ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Racing dog husbandry	<p>Must be in Precinct 3.</p> <p>Must be no more than 2 animals.</p>
Research and development centre	<p>Must be in Precinct 1, 2 or 4.</p> <p>Any frontage at ground floor level must not exceed 2 metres except where the floor space adjoining the frontage is a customer service area accessible to the public.</p>
Restricted retail premises	Must be in Sub-precinct 1B or Precinct 2.
Retail premises (other than Food and drink premises, Gambling premises, Motor vehicle, boat or caravan sales, Postal agency and Shop)	
Service industry	Must be in Precinct 2.

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Use	Condition
	Must not be a purpose listed in the table to Clause 53.10.
Shop	<p>Must not be in Precinct 3.</p> <p>In Precinct 4 the combined leasable floor area must not exceed 250 square metres.</p> <p>In Precinct 2:</p> <ul style="list-style-type: none"> ▪ Must adjoin, or be on the same land as, a supermarket when the use commences. ▪ The combined leasable floor area for all shops adjoining or on the same land as the supermarket must not exceed 500 square metres. ▪ The site must adjoin, or have access to, a road in a Road Zone.
Supermarket	<p>Must be in Precinct 1.</p> <p>The leasable floor area must not exceed 4000 square metres.</p>
Any use listed in Clause 62.01	Must meet requirements of Clause 62.01.

Section 2 - Permit required

Use	Condition
Adult sex product shop	<p>Must be in Precinct 1 or 2.</p> <p>Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from Precinct 3 or a residential zone, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.</p>
Agriculture (other than Animal production, Animal training, Domestic animal husbandry, Horse husbandry, Racing dog husbandry, Rice growing and Timber production)	
Bar	Must be in Precinct 1, 2 or 4.
Bottle shop	<p>Must be in Precinct 1 or 2.</p> <p>In Precinct 2, the site must adjoin, or have access to, a road in a Road Zone.</p>
Brothel	Must be in Precinct 1 or 2.
Camping and caravan park	<p>Must be in Precinct 1 or 4.</p> <p>Must be in conjunction with a food and drink premises.</p>
Car park	Must be in conjunction with another use in Section 1 or 2.
Car wash	In Precinct 3 or 4 must have access to a road in a Road Zone.

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Use	Condition
Caretaker's house	
Cinema	Must be in Precinct 2 or 4.
Cinema-based entertainment facility	
Dependent person's unit	Must be in Precinct 1, 3 or 4.
Domestic animal boarding	Must be in Precinct 1, 2 or 4.
Domestic animal husbandry (other than Domestic animal boarding)	In Precinct 3 must be no more than 5 animals.
Dry cleaning	Must be in Precinct 1, 2 or 4.
Dwelling (other than Caretaker's house)	Must be in Precinct 1, 3 or 4.
Education centre (other than Employment training centre and Tertiary institution)	
Exhibition centre	Must be in Precinct 3.
Extractive industry	Must be in Precinct 1, 2 or 4.
Employment training centre	In Precinct 3:
Food and drink premises (other than Bar and Hotel)	<ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Gambling premises	Must be in Precinct 1.
Hotel	Must be in Precinct 1, 2 or 4.
Industry (other than Materials recycling, Refuse disposal, Research and development centre, Rural industry, Service industry and Transfer station)	<p>Must be in Precinct 1 or 4.</p> <p>Must not be a purpose listed in the table to Clause 53.10.</p>
Landscape gardening supplies	Must be in Precinct 1 or 4.
Leisure and recreation (other than Informal outdoor recreation, Major sports and recreation facility and Motor racing track)	
Mail centre	
Major sport and recreation facility	Must not be in Precinct 1, 2 or 3.
Manufacturing sales	Must be in Precinct 1 and 4.
Market	
Materials recycling	Must be in Precinct 2.
Motor repairs	
Motor vehicle, boat or caravan sales	Must be in Precinct 2 or Sub-precinct 1B.

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Use	Condition
Office (other than Medical centre)	<p>In Precinct 3:</p> <ul style="list-style-type: none"> ▪ The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. ▪ The leasable floor area must not exceed 250 square metres.
Place of assembly (other than Cinema, Cinema-based entertainment facility, Exhibition centre and Place of worship)	Must be in Precinct 1, 2 or 4.
Place of worship	In Precinct 2 the site must adjoin, or have access to, a road in a Road Zone.
Racing dog husbandry	In Precinct 3 must be no more than 5 animals.
Residential building (other than Residential hotel)	Must be in Precinct 1, 3 or 4.
Residential hotel	Must be in Precinct 1, 2 or 4.
Research and development centre	<p>In Precinct 3:</p> <ul style="list-style-type: none"> ▪ The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. ▪ The leasable floor area must not exceed 250 square metres.
Restricted retail premises	Must not be in Precinct 3.
Service station	<p>The site must not exceed 3,000 square metres.</p> <p>In Precinct 3:</p> <ul style="list-style-type: none"> ▪ The land must adjoin Precinct 1 or 2; or ▪ The land must adjoin or have access to, a road in a Road Zone.
Store	In Precinct 3 must be a building, not a dwelling, and used to store equipment, goods, or motor vehicles used in conjunction with the occupation of a resident of a dwelling on the lot.
Supermarket	<p>Must be in Precinct 1, 2 or 4.</p> <p>In Precinct 2 or 4 the leasable floor area must not exceed 1,800 square metres.</p>
Tertiary institution	In Precinct 3:

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Use	Condition
	<ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Trade supplies	Must not be in Precinct 3.
Transport terminal	Must be in Precinct 1, 2 or 4.
Utility installation (other than Minor utility installation and Telecommunications facility)	
Warehouse (other than Mail centre)	<p>Must be in Precinct 1, 2 or 4.</p> <p>Must not be a purpose listed in the table to Clause 53.10.</p>
Any other use not in Section 1 or 3	

Section 3 – Prohibited

Use
Animal production (other than Grazing animal production)
Animal training
Corrective institution
Horse husbandry
Host farm
Motor racing track
Refuse disposal
Rice growing
Rural industry
Sale yard
Transfer station
Timber production

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Centre-wide provisions

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Use of land

A permit is not required to use land for the purpose of local government, provided the use is conducted by or on behalf of the public land manager.

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Subdivision

None specified.

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Buildings and works

No permit is required to construct a building or construct or carry out works for the following:

- The installation of an automatic teller machine.
- The alteration of an existing building facade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80% of the building facade at ground floor is maintained as an entry or windows with clear glazing and the alteration does not include obstructing views into a premises including through the application of a film, covering or screening which is less than 75% visually transparent on or in close proximity to any clear glazing which forms part of the facade.
- An awning which projects over a road, if it is authorised by the relevant public land manager.
- Buildings and works for the purpose of local government, provided the use is conducted by or on behalf of the public land manager.
- Construct or carry out works normal to a dwelling.
- Construct one dependent person's unit on a lot. This exemption does not apply if there is already one or more dependent person's unit on the lot.
- Construct or extend an outbuilding (other than a garage or car port) associated with a dwelling provided the gross floor area does not exceed 10 square metres, the maximum building height is not greater than 3 metres above natural ground level and the gross floor area of all out buildings on the lot do not exceed 40 square metres.
- Extend one dwelling on a lot more than 300 square metres. This exemption does not apply to:
 - Extend a dwelling more than 40 square metres
 - Extend a dwelling if it is on common property
- Construct or extend a front fence within 3 metres of a street if the fence is associated with two or more dwellings on a lot or a residential building and the fence does not exceed the maximum height specified in Clause 55.06-2.

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Design and development

The following design and development requirements apply to an application to construct a building or construct or carry out works:

Dwellings and residential buildings

On a lot less than 300 square metres, a development must meet the requirements of Clause 54 if it proposes to:

- Construct or extend one dwelling on a lot.
- Construct or extend a front fence within 3 metres of street if the fence is associated with one dwelling.

A development up to four storey, excluding a basement, must meet the requirements of Clause 55 if it proposes to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.

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- Construct or extend a residential building.
- Construct or extend a front fence within 3 metres of a street if:
 - The fence is associated with two or more dwellings on a lot or a residential building.
 - The fence exceeds the maximum fence height specified in Clause 55.06-2.

Buildings and works should avoid the development of south-facing dwellings.

Building height

Buildings and works should not exceed the preferred maximum building height specified in Clause 5 of this schedule. This does not apply to:

- Service equipment including plant rooms, lift overruns, solar collectors and other such equipment provided all of the following requirements are met:
 - The equipment does not exceed the preferred maximum building height by more than 2 metres.
 - No more than 50 percent of the roof area is occupied by the equipment.
 - The equipment is located to avoid additional overshadowing of adjoining properties and public space.
 - The equipment is designed to be concealed within the built form, where practical, or is screened and finished in a non-reflective material and colour to the satisfaction of the responsible authority.
- Where the slope at natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees and the preferred maximum building height is not exceeded by 1 metre.

A permit should not be granted to exceed the preferred maximum building height specified in Clause 5 of this schedule unless one or more of the following applies:

- The permit includes a condition (or conditions) requiring the landowner to enter into an agreement under section 173 of the *Planning and Environment Act 1987* for the provision of affordable housing which must provide the following:
 - The land owner must make a contribution towards affordable housing to the satisfaction of the responsible authority.
 - For the purposes of the agreement "affordable housing" is to have the meaning set out in the *Planning and Environment Act 1987*.
- The additional height supports the centre-wide objectives in Clause 2.0 of this schedule, precinct-objectives in Clause 5 of this schedule and the development is designed to achieve all of the following:
 - Avoid additional overshadowing of public or private open space (beyond that which would be generated by a proposal that complies with the specified height and setback requirements)
 - Floor-to-ceiling heights and floor-plate depths with adaptive re-use capabilities
 - The retention of existing mature vegetation (where applicable)
 - Avoid any adverse amenity impacts on adjoining sites within the Heritage Overlay (where applicable)
- The proposal incorporates an innovative design response that includes exemplary environmentally sustainable development principles, such as:
 - A significant reduction in carbon emissions including for whole of building life
 - Passive heating and cooling

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- Maximising daylight through building siting and design
- Retention of existing mature vegetation (where applicable)

Building setbacks

Buildings and works should be setback from the front, side and rear property boundaries as specified in the precinct provisions in Clause 5 of this Schedule.

Minor works such as verandahs, architectural features, balconies, shades, screens and artworks may be constructed within the setback areas specified in the precinct provisions in Clause 5 of this Schedule.

Where no side or rear setback is specified in Clause 5 of this Schedule and Clause 54 or 55 do not apply, buildings and works should be sufficiently setback to reasonably preserve the future development potential and provide for the reasonable amenity of adjoining properties having regard to solar access, daylight access, air circulation and walls on boundaries.

Access and mobility

Development and buildings and works should be designed to provide equitable access for people of all abilities including by providing accessible entries at the principle front entry.

Site layout

Development should be sited to make the most efficient use of land within the activity centre and oriented to maximise passive design opportunities.

Service equipment

Service equipment including plant rooms, lift overruns, solar collectors, metre boxes and other equipment should be concealed within the built form. Where this is not practical it should be screened and finished in a non-reflective material which is not visually obtrusive and allows it to blend within the surrounding built form.

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Precinct provisions

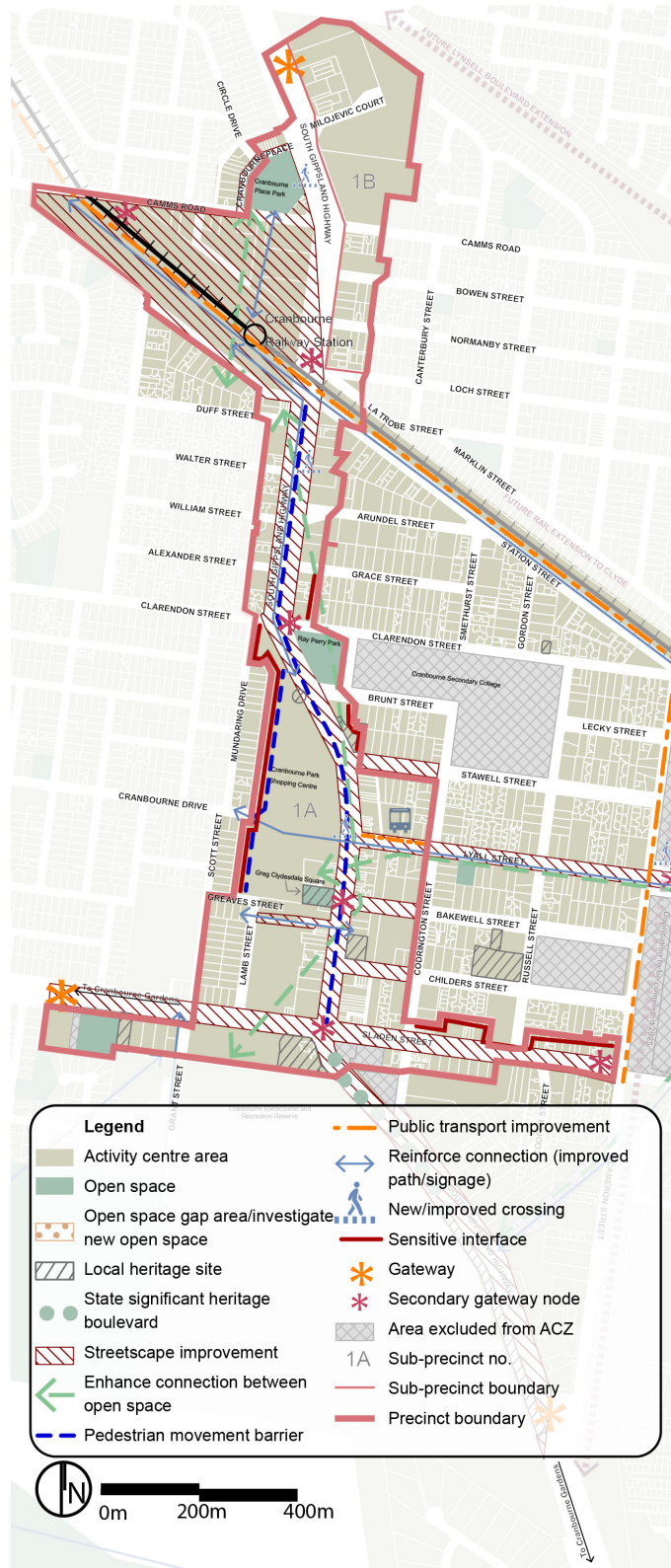
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5.1

Precinct 1 – Mixed-use commercial core

5.1-1

Precinct map



5.1-2 Precinct Objectives

- Support a diversity of retail and commercial businesses which operate throughout the day and night to locate throughout the precinct with fine grain development along street frontages at ground floor level.
- Support residential development above ground floor retail or commercial uses, particularly near Cranbourne Railway Station, except for sub-precinct 1B.
- Improve pedestrian comfort and accessibility by encouraging active uses at ground floor level, encouraging passive surveillance and having clearly defined paths and entries, particularly for larger sites.
- Create and support an urban and civic heart around Greg Clydesdale Square. Establish complementary secondary plaza spaces around Bakewell Street and Lyall Street to prioritise pedestrians in public spaces and encourage activity.
- Improve connectivity between High Street and the residential area to the west.
- Facilitate placemaking opportunities which encourage temporary activities and events on vacant or underdeveloped public and private land, such as car parking.
- Manage and mitigate acoustic impacts from commercial uses and the Cranbourne Railway Line on new residential development within the precinct.
- Support Greg Clydesdale Square to become a more active, pleasant, safe and attractive community space.

5.1-3 Precinct requirements

Preferred maximum building height	20 metres
Preferred front setback	3 metres including landscaping where a permit is required for an accommodation use at ground level 0 metres for all other development
Preferred street wall height	11 metres
Preferred setback above street wall	3 metres
Preferred side and rear setback	3 metres where a sensitive interface is identified or for land adjoining a residential zone

5.1-4 Precinct guidelines

- Buildings and works of 1,000 square metres or greater at Cranbourne Park Shopping Centre or at an existing at-grade car park should result in a net benefit to the activity centre by improving the appearance of adjoining streetscapes where works interface with a street and may include active transport links and amenities, and facade activation.
- Ensure that redevelopment near Cranbourne Railway Station provides new active transport links to the railway station.
- Encourage development with active uses that would provide passive surveillance adjoining public areas such as parks, squares and plaza spaces.
- Buildings and works at Cranbourne Park Shopping Centre should improve pedestrian accessibility to the residential areas to the west.
- Where no vegetation is able to be provided in a ground floor front setback, incorporate vegetation into the building facade design.

- Ensure buildings are appropriately set back from sensitive interfaces and include a landscape buffer which is at least 1 metre wide and capable of achieving adequate levels of solar access.
- New residential development or an intensification of existing residential development should include appropriate acoustic protection from surrounding non-residential uses.

5.1-5 Any other requirements

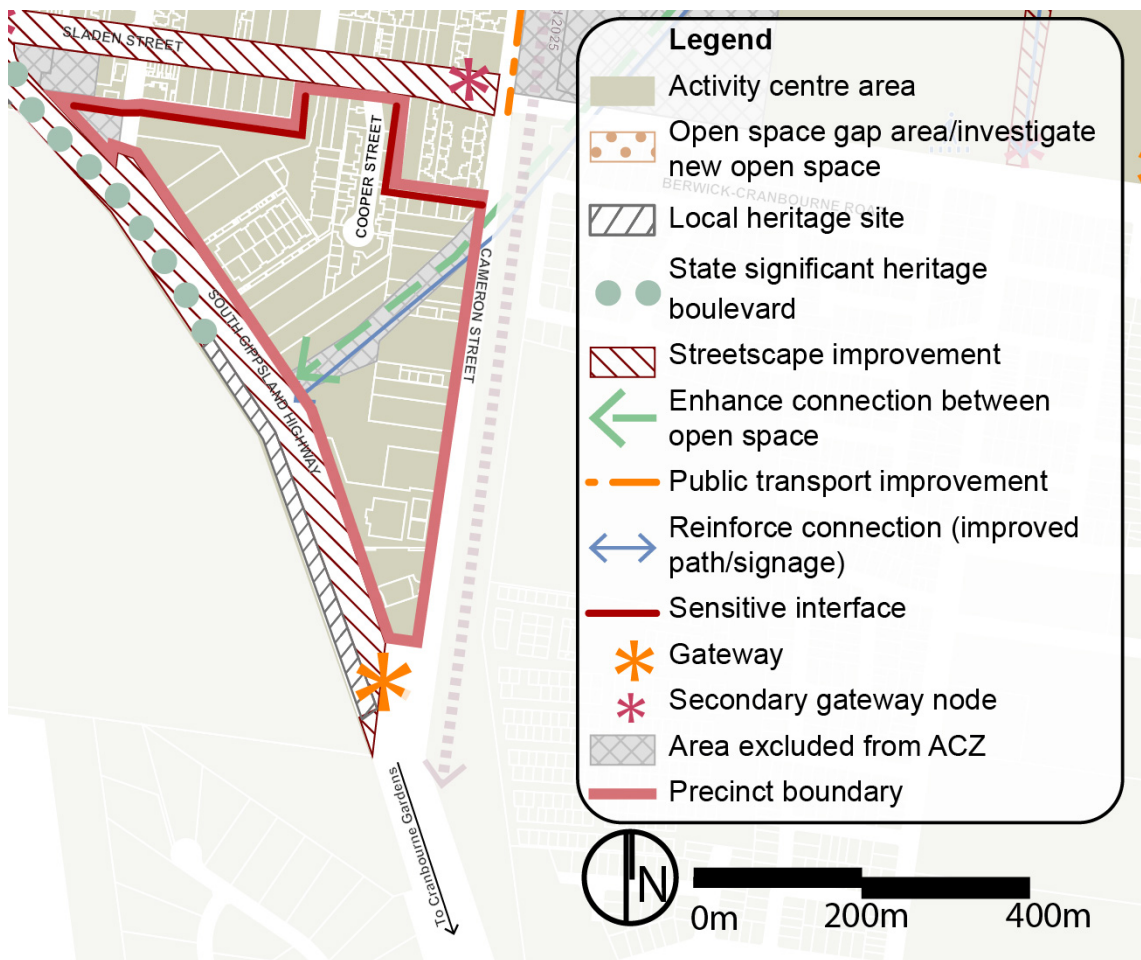
None specified.

5.2 Precinct 2 - Employment and services

5.2-1 Precinct map

5.2-1 Precinct map





5.2-2

Precinct objectives

- Support a broad-range of non-retail employment uses.
- Support a transition from industrial to more commercial-based industries.
- Improve interfaces with residential and other sensitive land uses and minimise off-site amenity impacts through siting, landscaping, engineering measures and building design.
- Create attractive streetscapes through landscaped front setbacks and attractive building design.

5.2-3

Precinct requirements

Preferred maximum building height	14 metres
Preferred front setback	3 metres including a landscaped area which would allow tree planting
Preferred street wall height	11 metres
Preferred setback above street wall	3 metres
Preferred side and rear setback	3 metres including a landscaped area of at least 1 metre for land adjoining Precinct 3. None specified for all other land.

5.2-3 Precinct guidelines

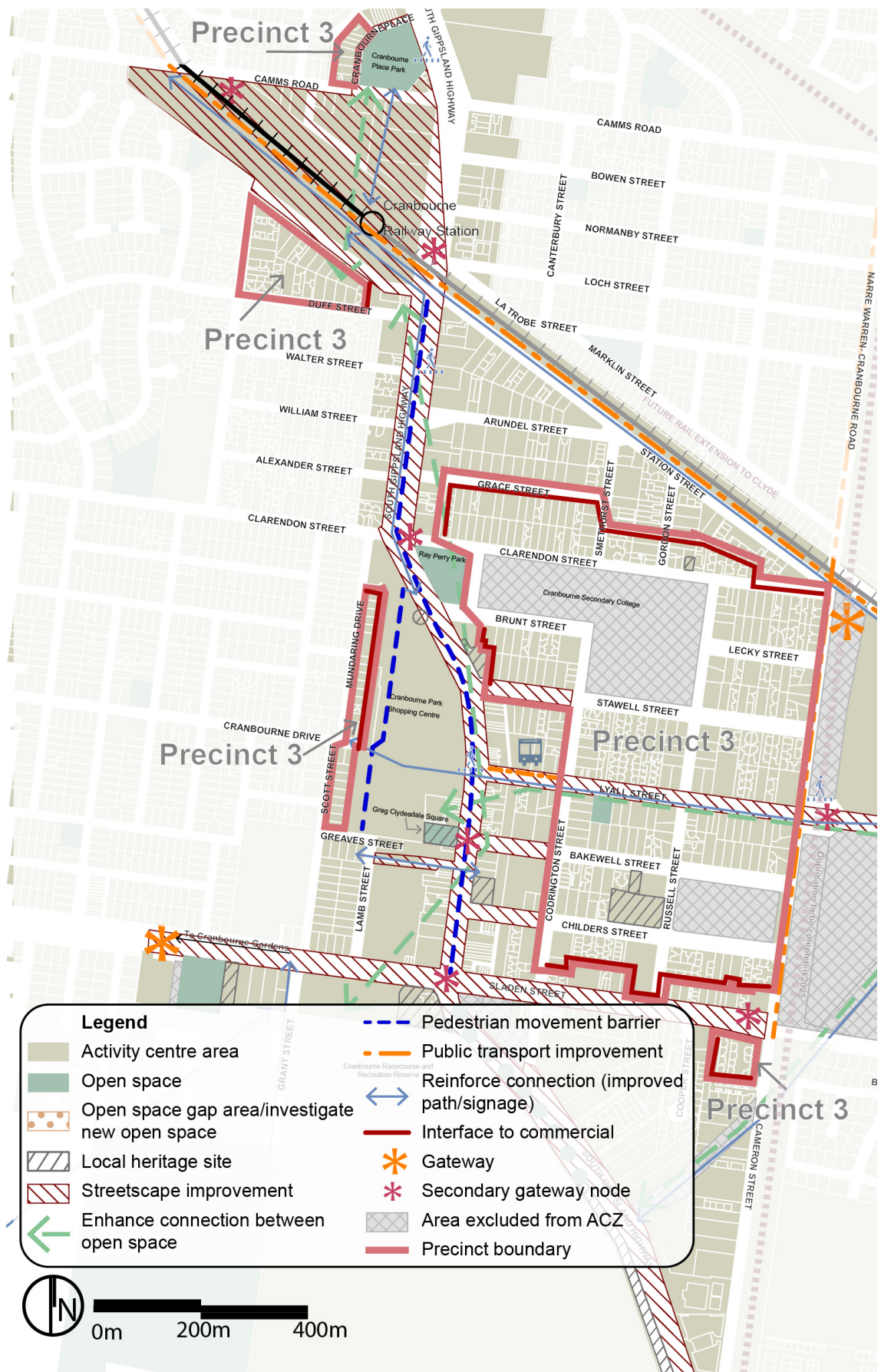
- Commercial development should provide a high level of internal amenity including through the provision of common spaces such as courtyards, balconies or rooftops.
- Development associated with an industrial uses which adjoins Precinct 3 or a sensitive interface shown on the precinct map should address potential adverse amenity impacts and include appropriate measures such as landscaping, acoustic treatments, engineering and building siting and design to minimise impacts.
- Encourage office and commercial development along Sladen Street and South Gippsland Highway.
- Ensure buildings are appropriately setback from sensitive interfaces and include a landscape buffer which is at least 1 metre wide and capable of achieving adequate levels of solar access.

5.2-5 Any other requirements

None specified

5.3 Precinct 3 - Residential growth

5.3-1 Precinct map



5.3-2 Precinct objectives

- Encourage a diversity of housing in terms of lot size, number of bedrooms and tenure.
- Limit non-residential uses within the precinct except for where they are near another precinct and address a local need.
- Create landscaped front setbacks which contribute positively to the streetscape and provide a clear delineation between public and private space.
- Avoid garages and parking structures dominating the streetscape by locating them to the side or rear of buildings and ensuring private vehicle access is integrated within the building design.
- Encourage site layout and building massing which preserves the future development potential of adjoining land.

5.3-3 Precinct requirements

Preferred maximum building height	14 metres
Preferred front setback	5 metres
Preferred side and rear setbacks	None specified

Development should provide one medium canopy tree capable of reaching a height of 7 metres at maturity in the front setback.

5.3-4 Precinct guidelines

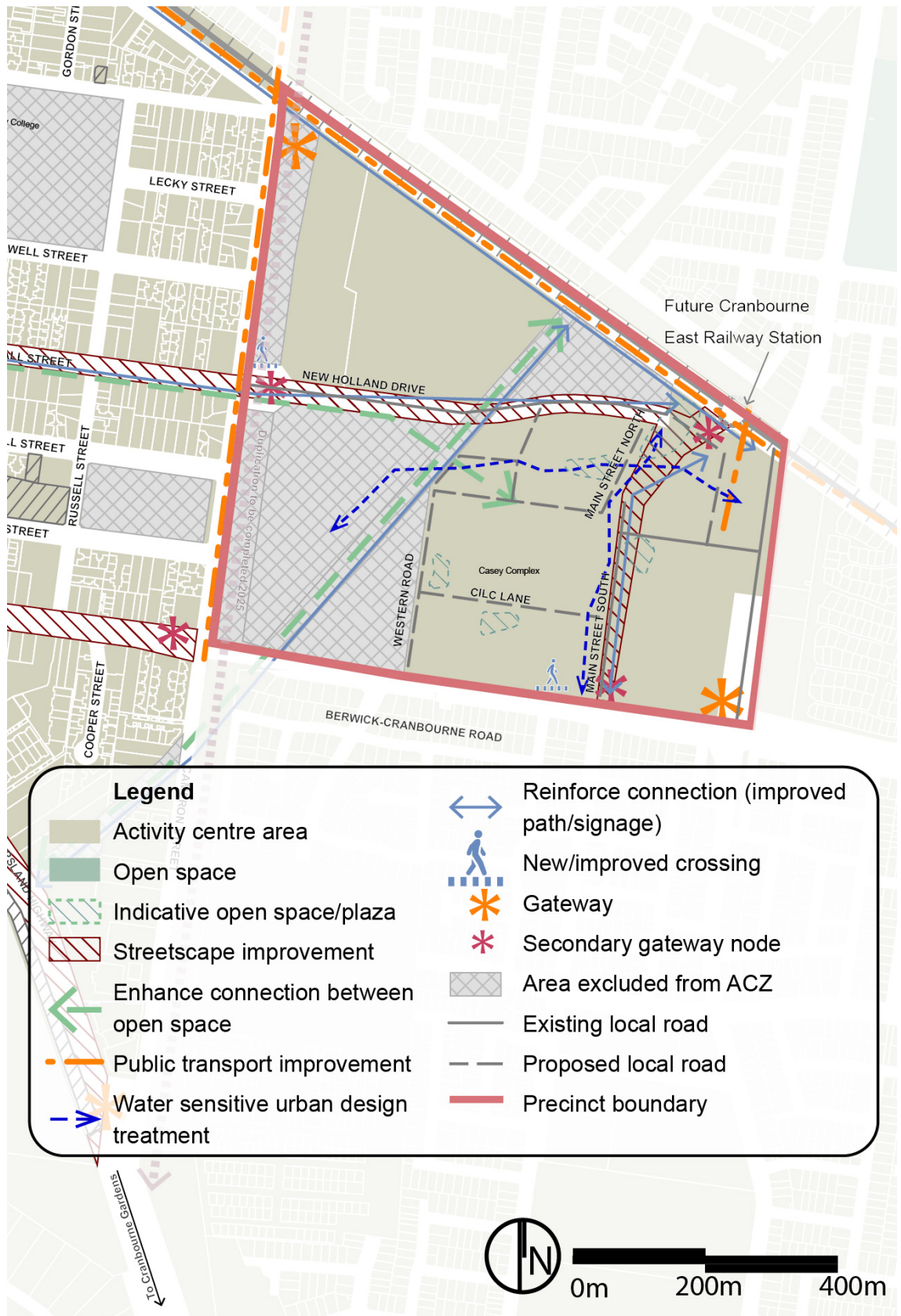
- Avoid south-facing habitable rooms and where this cannot be avoided, design solutions such as light courts, sky lights and natural ventilation should be implemented to allow for maximum solar access and air circulation.
- Increase housing diversity by seeking to achieve a target of 60 percent one bedroom dwellings and 30 percent two bedroom dwellings in new development.
- Balconies which comprise a dwelling's primary secluded private open space should have a minimum depth of 3 metres and be free of clothes lines, air-conditioning units and other services. Where this cannot be avoided, these items should be screened or concealed within the built form and the area they occupy be excluded from the overall quantum of private open space provided.
- Avoid parking structures within the front setback.
- Tree planting and landscaping in the front, side and rear setbacks is encouraged to soften the appearance of built form.
- Solid front fences and primary ground level secluded private open spaces in the front setback are discouraged.
- New residential development or an intensification of existing residential development adjoining Precinct 1 or 2 should include appropriate acoustic protection from existing non-residential uses.
- Non-residential uses may be included as part of an apartment development where there are minimum on and off-site adverse amenity impacts.
- Discourage stand-alone non-residential uses unless off-site amenity impacts can be minimised.

5.3-5 Any other requirements

None specified.

5.4 Precinct 4 - Casey Complex and surrounds

5.4-1 Precinct map



5.4-2 Precinct objectives

- Support mixed-use transit-oriented development, including residential and commercial uses in proximity to the future Cranbourne East Railway Station and adjoining gateways and secondary gateway nodes.
- Ensure the future Cranbourne East Railway Station and grade separation responds appropriately to its surrounds through its siting and designed.
- Create improved connections within and to the Casey Complex.
- Incorporate water-sensitive urban design principles and integrated water management into new development, including landscape design.
- Create public spaces which are enjoyable and functional to navigate through and linger in by appropriately designing building interfaces and locating parking so that built form and parking structures are not visually dominant.
- Ensure community buildings and services are located with good access to public space.
- Support the expansion of community and recreation activities and services in an integrated and coordinated manner.
- Improve the Berwick-Cranbourne Road interface of the Casey Complex through the development of new and expanded buildings.
- Develop the Casey Complex street network with a hierarchy of roads and ensure the sequencing of development provides for efficient interim and ultimate access to and between lots and throughout the precinct.
- Develop a central plaza and Main Street which connects all facilities and activities.

5.4-3 Precinct requirements

Preferred maximum building height	20 metres
Preferred front setback	0 metres
Preferred street wall height	11 metres
Preferred setback above street wall	3 metres
Preferred side and rear setback	None specified

5.4-4 Precinct guidelines

- Development and external alterations and additions to existing buildings fronting streets and public spaces should provide active interfaces, be of high architectural quality and provide weather protection for pedestrians.
- Prioritise pedestrian movement and active transport through the central plaza and Main Street by providing weather protection, wide footpaths, separated cycle lanes and attractive landscaping.
- Locate parking so that it is away from the Main Street and is convenient to access from facilities and the surrounding road network.
- Develop active frontages along Berwick-Cranbourne Road to support the development of the Casey Complex as a transit-oriented precinct.
- Improve legibility and wayfinding through the Casey Complex by establishing a local street network complemented by signage, lighting and designated pedestrian and cycle paths.

5.4-5 Any other requirements

- Subdivision and development should provide for the development of the local road network generally in accordance with the requirements below and to the satisfaction of the responsible authority:
 - The provision of a 19 metre road reserve for CILC Lane comprised of a dual carriageway and on-street parking with tree outstands and a footpath on both sides of the carriageway.
 - The provision of a 34 metre road reserve for Main Street North comprised of a through-traffic lane, bus bay, area for bus shelters, bike hoops and associated transit infrastructure, an off-road cycle lane and a footpath on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
 - The provision of a 29 metre road reserve for Main Street South comprised of a through-traffic lane, on-street parking, a landscaped buffer to protect an off-road cycle lane and a footpath capable of accommodating outdoor dining/seating areas on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
 - The provision of a 30.4 metre road reserve for New Holland Drive East comprised of a dual carriageway and a bus bay, area for bus shelters, bike hoops and associated transit infrastructure, an off-road cycle lane and footpath on either side of the carriageway.
 - The provision of a 30.4 metre road reserve for New Holland Drive West comprised of a through-traffic lane, on-street parking with tree outstands, a landscaped buffer protecting an off-road cycle lane and a footpath on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
 - The provision of a 23.4 metre road reserve for Western Road comprised of a dual carriageway and on-street parking, a landscaped buffer to protect an off-road cycle lane and a footpath on either side of the carriageway.

6.0 Application requirements

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The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority.

Use

An application to use land must specify how it is consistent with and achieves the centre-wide and precinct objectives and guidelines in Clause 5 of this schedule.

Buildings and works

An application to construct a building or construct or carry out works must be accompanied by the following information:

- A statement which explains how a development makes efficient use of land and reasonably preserves the future development potential of adjoining land.
- For the construction of new dwellings in buildings of four storeys or less, an assessment against the relevant provisions of Clause 54 or Clause 55.
- An arboricultural assessment prepared by a suitably qualified professional where it is proposed to remove a tree of 5 metres or greater and a trunk diameter of 0.3 metres or greater at 1.2 metres above ground level. This requirement does not apply to environmental weed species.
- Evidence that the proposal is capable of achieving a 25 percent annual reduction in storm water runoff having regard to the provisions of clause 53.18.

CASEY PLANNING SCHEME

- For residential development in Precinct 1, 3 (where the site adjoins Precinct 1 or 2) and 4 an acoustic assessment prepared by a suitably qualified professional demonstrating how the proposal includes appropriate noise attenuation measures to reasonably protect the amenity of future residents from nearby commercial or industrial uses.
- An application for development up to four storeys should include and an application for development of four or more storeys must include a 3D model which shows:
 - The potential overshadowing impact of the development on the open space and habitable rooms of adjoining properties and within the proposed development and how the design of the development minimises overshadowing impacts and ensures maximum solar access internally for dwellings, to neighbouring properties and public spaces.
 - The potential overshadowing impact of the development on public spaces adjoining the proposal, ensuring that overshadowing of boulevards, heritage sites, parks and other public open space is minimised. Reasonable solar access should also be maintained to the ground floor of buildings opposite in winter, where practical.
- For a staged development, a masterplan which includes future indicative built form and likely uses for the balance of the land.
- For an application which exceeds the preferred maximum building height specified in clause 5 of this schedule, a statement which demonstrates how the proposal addresses the additional building height criteria at clause 4.4 of this schedule.
- For an application which exceeds the preferred maximum building height specified in clause 5 of this schedule because it incorporates an innovative design response that includes exemplary environmentally sustainable development principles, the following, as relevant:
 - A report prepared by a suitably qualified individual which demonstrates that the building achieves a significant reduction in carbon emissions including whole of building life and embodied carbon.
 - A report prepared by a suitably qualified individual which may include plans, sections and construction details and demonstrates that the development has been designed with passive heating and cooling principles in mind and will have a significantly lower reliance on mechanical heating and cooling.
 - A daylight modelling report prepared by a suitably qualified individual that demonstrates how the development is sited and designed to maximise daylight penetration and minimise the need for artificial lighting throughout the day based on lighting requirements of different living and working spaces.
 - An arboricultural assessment and tree management plan or construction management plan, prepared by a suitably qualified individual that demonstrates any mature tree(s) being retained is/are of high value and buildings and works will not unreasonably impact the health of the tree(s).
- For developments of 3-9 dwellings and all non-residential development with a gross floor area between 500 square metres and 1,000 square metres, a Sustainable Design Assessment which includes:
 - A simple assessment of the development, which may use tools such as the Built Environment Sustainability Scorecard (BESS) or Stormwater Treatment Objective-Relative Measure (STORM) or an equivalent assessment approach to the satisfaction of the responsible authority; and
 - The identification of environmentally sustainable development measures proposed which considers the site's opportunities and constraints.
- For the development of 10 or more dwellings and all non-residential development with a gross floor area greater than 1,000 square metres, a Sustainability Management Plan which includes:

- A detailed assessment of building energy management, water sensitive urban design features, construction materials, indoor environment quality, waste management and transport which may use relevant tools such as BESS, STORM, Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or Green Star or an alternative assessment approach to the satisfaction of the responsible authority; and
 - The identification of achievable environmental performance outcomes, having regard to the site's opportunities and constraints, documentation of the means by which the outcomes can be achieved and demonstration that the building has the design potential to achieve the outcomes; and
 - A Green Travel Plan.
- In addition to the Sustainable Management Plan specified above, a development with a gross floor area greater than 5,000 square must demonstrate it has the ability to achieve a 5-star rating or above under a current version of the Green Star rating tool or equivalent.
 - For all mixed use development, the above requirements for a Sustainable Design Assessment or Sustainable Management Plan apply as they relate to each use.

The above Environmentally Sustainable Design application requirements will expire if and when they are superseded by an equivalent application requirement in a Victoria Planning Provision.

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Notice and review

The following applications are not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act:

- An application to construct a building or construct or carry out works that exceed the preferred height or encroach into the preferred setback requirements contained in Clause 5.0 of this schedule and which does not meet the additional building height criteria in Clause 4.4 of this schedule.
- An application to use land or to construct a building or construct or carry out works in Precinct 1 or 2 within 30 metres of Precinct 3, a residential zone, land used for a hospital, a primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.
- An application to use land or construct a building or construct or carry out works in Precinct 3.

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Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

Use

- For a staged development, whether a future indicative use for the balance of the land is nominated in a site masterplan or similar.

Subdivision

- Whether an application to subdivide land is accompanied by a suitable development proposal that achieves the centre-wide objectives in Clause 2.0 and the precinct objectives in Clause 5.0 of this schedule.

- Whether the future development potential of the land is unreasonably constrained by the proposed subdivision.
- Whether the proposed subdivision makes a contribution towards creating a permeable pedestrian and cyclist movement network.

Design and built form

- The extent to which a proposal addresses and achieves the centre-wide objectives in Clause 2.0 and the precinct objectives in Clause 5.0 of this schedule.
- The extent to which the proposal makes efficient use of land and allows for the reasonable future development potential of adjoining land.
- Whether an application meets the additional building height criteria at Clause 4.4 of this schedule where it exceeds the preferred maximum building height specified in Clause 5 of this schedule.
- Whether a proposal is designed to enable a change in use over time to support the Cranbourne Major Activity Centre to become more resilient to changes in the social, physical and economic environment.
- Whether a proposal contributes to the Cranbourne Major Activity Centre being a more active and vibrant place.
- Whether a proposal contributes to making the Cranbourne Major Activity Centre more sustainable by including vegetation where possible and incorporating environmentally sustainable design features.

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Signs

Sign requirements are at Clause 52.05. All land located within Precinct 1 and 4 is in Category 1, all land located within Precinct 2 is in Category 2 and all land in Precinct 3 is in Category 3.

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Other provisions of the scheme

None specified.

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Reference documents

Casey Complex Urban Design Framework (City of Casey, 2019)

Cranbourne Major Activity Centre Structure Plan (City of Casey, 2020)