

**Agenda of Council Meeting
to be held in the Function Centre,
Bunjil Place, Narre Warren.
Tuesday, 15 March 2022**

Commencing at 4:00 PM

**Vision for the future:
Become a more connected, bold and resilient
community.**

Chairperson: Chair of Administrators: Noelene Duff, PSM
Administrator: Cameron Boardman
Administrator: Miguel Belmar

Chief Executive Officer: Glenn Patterson

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1. WELCOME AND ACKNOWLEDGEMENTS

1.1. READING OF THE STATEMENT OF ACKNOWLEDGEMENT

1.2. READING OF THE DIVERSITY STATEMENT

2. CONFIRMATION OF MINUTES

3. DECLARATIONS OF CONFLICT OF INTERESTS AND PERSONAL INTERESTS

Declaration by Administrators of any Conflict of Interest pursuant to Section 130 of the Local Government Act 2020 (the Act) in any items on the Agenda Paper. (Note that Section 130(2)(a) of the Act requires Administrators to disclose the nature of a Conflict of Interest immediately before the relevant consideration or discussion). Section 130(2)(b) also requires that the Administrator declaring a Conflict of Interest exclude themselves from the decision-making process in relation to that matter.

4. PUBLIC QUESTION TIME

Officers' Reports



**Amendment C275case to the Casey Planning Scheme:
Review of the Planning Framework for the Cranbourne
Major Activity Centre
City Planning and Infrastructure
Growth and Investment
Kathryn Seirlis**

ITEM: 5.7.

Purpose of Report: To consider submissions received in response to the public exhibition of Amendment C275case.

**Recommendation
That Council:**

- 1. Request the Minister for Planning appoint a Panel under Section 153 of the *Planning and Environment Act 1987* to consider the submissions received in response to the exhibition of Amendment C275case.**
- 2. Refer all submissions to Amendment C275case to the Panel, in accordance with Section 23(1)(b) and 23(2) of the *Planning and Environment Act 1987*.**
- 3. Makes a submission to the Panel in support of Amendment C275case to the Casey Planning Scheme generally as shown in Attachments 2 and 3.**
- 4. Notifies all submitters (except for Melbourne Water who requested not to be further contacted about this matter) of Council's decision.**

Officer General or Material Interest

No Council officers involved in the preparation of this report have a general or material interest in matters for consideration.

Council Plan Reference

- 1 - Drive stronger connections and places
- 1.1 Deliver sustainable and adaptable infrastructure and activate places

Executive Summary

Amendment C275case is a review of the planning framework for the Cranbourne Major Activity Centre (Cranbourne MAC). The Cranbourne MAC is the second largest activity centre in the City of Casey after the Fountain Gate-Narre Warren CBD. Positioned centrally within the City of Casey and the south-east growth corridor, the Cranbourne MAC is located in one of the fastest growing areas in Australia and plays an important role as an established activity center in a rapidly growing and changing surrounding context. The Cranbourne MAC contains a broad range of land uses including residential, employment, retail and community uses.

The Minister for Planning authorised the preparation of Amendment C275case subject to conditions. Council addressed the Ministers conditions of authorisation and formally exhibited Amendment C275case during November and December 2021 together with the updated Cranbourne Structure Plan. Five submissions were received, two from State Government departments/agencies which did not request any changes to the amendment and three from residents in or near the Cranbourne MAC requesting a change to the amendment. It is recommended that Council requests the Minister for Planning appoints an independent Planning Panel to consider all submissions received.

Background

Council adopted the *Cranbourne Town Centre Structure Plan* at its meeting on 19 June 2018 to provide an overarching policy framework that guides the sustainable growth and development of the centre over a 20 year period and beyond. The Structure Plan was informed by a significant body of research seeking to address many complex and interrelated issues including demand for housing, retail and commercial floor space, community facilities, an analysis of open space and the urban environment, transport, access, movement, parking. The plan includes statutory and non-statutory implementation actions to support Cranbourne to become a more vibrant, active and attractive place for people to live, work and socialise.

At its meeting on 15 December 2020, Council resolved to seek authorisation from the Minister for Planning to prepare and subsequently exhibit Amendment C275case to the Casey Planning Scheme which proposes a revised suite of planning controls for the Cranbourne Major Activity Centre (Cranbourne MAC). Council also endorsed a number of supporting documents including the *Cranbourne Major Activity Centre Structure Plan 2020*, which is a minor update to the 2018 plan with some enhancements to the text and mapping to improve its usability as well as changing the name of the activity centre to align with the State's Metropolitan Planning Strategy, *Plan Melbourne: 2017-2050*.

Amendment C275case is the culmination of a significant body of strategic work and employs a holistic place-based approach to ensure all elements of the planning framework are addressed to provide a clear and contemporary set of planning controls for this strategic centre. The changes proposed by C275case will support the Cranbourne MAC to transition through the "covid normal" period and continue to support the diverse employment, entertainment and housing needs of the local community. A contemporary planning framework will support the growth and development of the centre and attract investment.

Amendment C275case also implements the interim changes made to places of local heritage significance (introduced through Amendment C278case) on a permanent basis. C278case proposed to implement the *Cranbourne Town Centre heritage Overlays Review 2020* on a temporary basis through a non-exhibited amendment on the basis that a future planning scheme amendment process, fully exhibited to the public, would propose the controls on a permanent basis. This is common practice when making changes to controls for heritage places to ensure they are protected in the interim as the planning scheme amendment process can often take some time.

Authorisation was requested on 24 December 2020 and officers were notified on 4 January 2021 that further review would be required. On 26 February 2021 the Department of Environment, Land, Water and Planning (DELWP) wrote to Council requesting further information to assist in their assessment of the authorisation request. Further information was provided to DELWP on 1 April 2021 and Amendment C275case was authorised subject to conditions by the Minister for Planning on 18 July 2021. The Minister's authorisation letter can be found at Attachment 1.

The Minister's conditions of authorisation resulted in modification to schedule 1 to the Activity Centre Zone (ACZ1) to clarify the requirements for exceeding the preferred building heights specified. Other conditions were largely administrative and included corrections and updates to the amendments' documents and explanatory report. The exhibited version of Amendment C275case can be found at Attachment 2. An update has been made to the schedule to Clause 72.04 Documents Incorporated in this Planning Scheme

in Attachment 2 since exhibition to account for changes made to the schedule over the last few months through the approval of other amendments.

Officers will request that DELWP extend the interim heritage controls introduced through Amendment C278case which are otherwise set to expire on 30 June 2022, as the progress of Amendment C275case has taken longer than anticipated when the interim controls were introduced.

Exhibition

Amendment C275case was formally exhibited between 11 November and 17 December 2021 and comprised of:

- Public notices published in the Cranbourne Star local newspaper on 11 and 18 November 2021
- Public notice published in the Government Gazette on 11 November 2021
- A dedicated Casey Conversations web page where the amendments documents and supporting information could be viewed together with a list of Frequently Asked Questions (FAQs) explaining the key aspects of Amendment C275case and the planning scheme amendment process. Submissions could be made during through the page during the exhibition period.
- Sending approximately 2,700 notices to the owners and occupiers of affected and adjoining properties. The information sent included a selection of Frequently Asked Questions (FAQs) explaining the key aspects of Amendment C275case and the Planning Scheme Amendment process with a QR code to direct people to the Casey Conversations web page for the project.
- Sending notices to Ministers prescribed under the *Planning and Environment Act 1987*

Officers also attended to approximately 50 telephone enquiries and a several emails. The Casey Conversations web page for Amendment C275case had 588 visits from 415 visitors during the exhibition period.

Submissions

Section 22 of the *Planning and Environment Act 1987* states that Council as the Planning Authority must consider all submissions made during the exhibition period and may consider any late submissions.

Five submissions were received in response to the exhibition of Amendment C275case. Two submissions were from State Government departments/agencies (DELWP and Melbourne Water) and did not oppose the amendment. Melbourne Water requested to not be further notified about this matter. Three submissions were received from Casey residents (including one late submission) who oppose Amendment C275case. A summary of all submissions with officers' response can be found at Attachment 3.

Two of the three resident submitters (submitters 2 and 5) who opposed the amendment requested clarification/further information or requested the development of community infrastructure. While these submitters selected an option on their online submission form stating that they oppose or request a change to Amendment C275case, their written submission did not specify any changes or aspects of the amendment they did not agree with. Officers have written to these submitters to better-understand their concerns, however at the time of writing this report no further information has been provided by the submitters.

The other resident submitter (submitter 1) opposed the amendment because of a lack of information provided and felt that the area is already very busy and would get busier. Officers spoke with this submitter to gain a better understanding of their concerns and explain what would happen with their submission moving forward.

While submitter 1 did not explicitly identify issues with specific aspects of the amendment, their submission effectively requests maintaining the status quo, and as such constitutes a request to change all or part of the amendment. As outlined in section 23 of the *Planning and Environment Act* Council as the Planning Authority must change the amendment in the manner requested, refer the submission to a Planning Panel or abandon the amendment or part of the amendment.

It is recommended that Council requests the Minister for Planning appoints an independent Planning Panel to consider all submissions received to Amendment C275case and that officers make a submission in support of the Amendment C275case to the Casey Planning Scheme as exhibited in accordance with Attachment 2 and 3.

Community Engagement

As outlined in the Exhibition section of this report, Amendment C275case was exhibited broadly to the local community.

Previous engagement with community groups and the general public occurred during the development of the Cranbourne Major Activity Centre Structure Plan, which forms the policy basis for Amendment C275case.

Financial Implications

Funds have been allocated in the 2021-2022 Growth and Investment operational budget to progress Amendment C275case through the Planning Panel process. Fewer submissions than anticipated were received so it is expected there may be a saving in having a shorter or less complicated hearing.

Conclusion

Amendment C275case was formally exhibited through November and December of 2021. Five submissions were received in response to the exhibition of Amendment C275case to the Casey Planning Scheme.

It is recommended that Council requests the Minister for Planning appoints an independent Planning Panel to consider the submissions received and that officers make a submission in support of the Amendment.

Attachments

1. Authorisation letter [5.7.1 - 3 pages]
2. Combined amendment documents [5.7.2 - 147 pages]
3. Summary of submissions [5.7.3 - 3 pages]



Hon Richard Wynne MP

Minister for Planning
Minister for Housing
Acting Minister for Water

8 Nicholson Street
East Melbourne, Victoria 3002

Ms. Noelene Duff
Chair Administrator
Casey City Council
Bunjil Place
2 Patrick Northeast Drive
NARRE WARREN VIC 3805

Ref: MBR043673



Dear Ms Duff

**PROPOSED CASEY PLANNING SCHEME AMENDMENT C275case –
CRANBOURNE MAJOR ACTIVITY CENTRE STRUCTURE PLAN UPDATE**

I refer to your council's application for authorisation to prepare an amendment to the Casey Planning Scheme. The amendment proposes to implement the Cranbourne Major Activity Centre Structure Plan 2020, the Casey Complex Urban Design Framework 2019 and the Cranbourne Town Centre Heritage Overlay Review June 2020 by introducing a new schedule to the Activity Centre Zone and schedule to the Parking Overlay, updating the schedule to the Heritage Overlay and making other consequential updates to the planning scheme.

In accordance with section 8A of the *Planning and Environment Act 1987*, I authorise your council as planning authority to prepare the amendment subject to the following conditions:

1. Update the Explanatory report consistent with the version provided by council officers to Department of Environment, Land, Water and Planning (DELWP) dated April 2021 that clearly explains how the amendment supports and implements relevant clauses of the Planning Policy Framework and Local Planning Policy Framework, Casey Activity Centre Strategy 2020, applicable Ministerial Directions and Practice Notes.
2. Review Clause 21.15 'Cranbourne' and Clause 21.16 'Cranbourne East' including the local area maps to resolve any duplication or inconsistencies with the proposed Activity Centre Zone schedule and to update references to the centre.
3. Review the proposed Activity Centre Zone (ACZ) schedule having regard to the marked-up version provided by DELWP officers dated May 2021. Specifically respond to the following issues and make changes to the amendment as appropriate:
 - a. Review the proposed buildings and works requirements for exceeding preferred heights to ensure they are clear and quantifiable and will generate a consistent preferred outcome.
 - b. Reduce reliance on external documents throughout the schedule to ensure that it is self-contained and includes the necessary information to assess and decide an application.
 - c. Review the structure of the precinct built form requirement tables to improve the legibility of the schedule.
4. Retain reference to the 'Avenue of Honour' in the place name for HO208 in the Schedule to Clause 43.01. 'Avenue of Honour' is used throughout the schedule and is a common term which is reflected in 'Our Living Memorials – Avenues of Honour in the City of Casey, December 2001'. References to 'memorial row planting' and the 'memorial plaque' should be included in the heritage place description.
5. Prepare individual incorporated documents for each statement of significance proposed to be referenced in the schedules to Clause 43.01 and 72.04.



OFFICIAL

6. Make consequential changes to the Schedule to Clause 43.01 and planning scheme maps to reflect the decision on Casey Planning Scheme Amendment C278case.
7. Amend Plan 1.1 of the schedule to Clause 53.01 to update outdated references to the 'Cranbourne Town Centre' and 'Principal Activity Centre'.

DELWP officers also provide commentary on the following substantive issues for consideration by your council through the amendment process:

Affordable housing

DELWP acknowledges that there is significant legislative and planning policy support for the delivery of affordable housing. The proposed ACZ schedule provides four circumstances when preferred heights can be exceeded, including where the owner has entered into an agreement with the responsible authority under section 173 of the Act for the provision of affordable housing.

On 26 February 2021, DELWP officers outlined their preliminary concerns about the strategic basis for, and the drafting of, the proposed affordable housing provision. Following receipt of further information from your council, DELWP officers consider that it is appropriate that the merits and justification for the provision be tested through the amendment process.

Environmentally sustainable development

The proposed ACZ schedule also includes application requirements related to environmentally sustainable development (ESD) with an expiry provision, and criteria to facilitate development above preferred building heights which incorporates an innovative design response that includes exemplary ESD principles.

In January 2021, DELWP released a roadmap outlining the Victorian Government's agenda for supporting ESD through the Victorian planning system. It is proposed to deliver policy changes and a new and expanded particular provision. It is also noted that your council has resolved to implement a local policy response to ESD as part of the Planning Policy Framework translation. At the time of writing, the translation is being prepared by the Smart Planning program in consultation with your council.

The proposed ACZ schedule may require review if these policy changes are implemented while Amendment C275case is progressed.

The amendment must be submitted for approval.

The authorisation to prepare the amendment is not an indication of whether or not the amendment will ultimately be supported.

Please note that [Ministerial Direction No. 15](#) sets times for completing steps in the planning scheme amendment process. This includes the council:

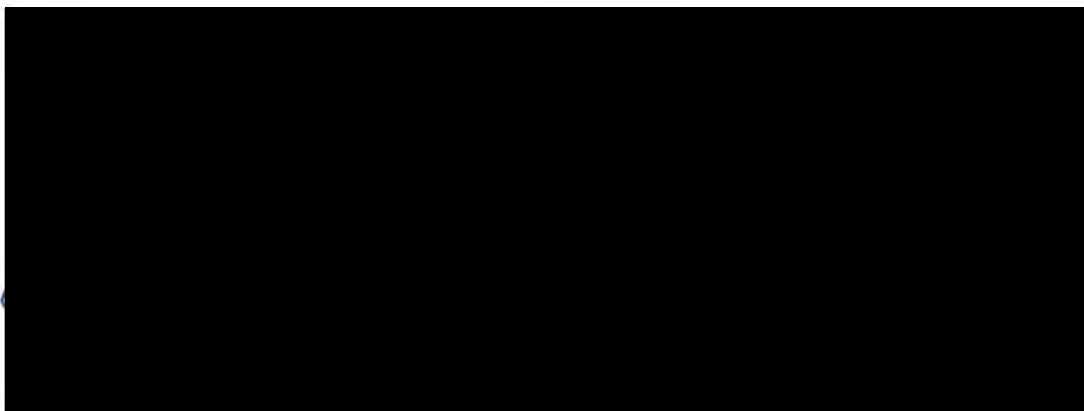
- giving notice of the amendment within 40 business days of receiving authorisation; and
- before notice of the amendment is given, setting Directions Hearing and Panel Hearing dates with the agreement of Planning Panels Victoria. These dates should be included in the Explanatory Report ([Practice Note 77: Pre-setting panel hearing dates](#) provides information about this step).

The direction also sets out times for subsequent steps of the process following exhibition of the amendment.

I, as Minister may grant an exemption from requirements of this Direction. Each exemption request will be considered on its merits. Circumstances in which an exemption may be appropriate are outlined in [Advisory Note 48: Ministerial Direction No.15 – the planning scheme amendment process](#).

In accordance with sections 17(3) and (4) of the Act, the amendment must be submitted **at least 10 business days** before the council first gives notice of the amendment.

Please submit the amendment electronically using the Amendment Tracking System (ATS).



CASEY PLANNING SCHEME

21.1504/04/2019
C204**CRANBOURNE****21.15-1**28/01/2021
C258case**Profile**

The older parts of residential Cranbourne have a character and quality that is clearly recognised and valued by the community. The Cranbourne Major Activity Centre manages to keep its country town atmosphere while serving as a regional hub for a diverse community that has a growing sense of pride.

21.15-2---/---/---
Proposed C275case**Objectives**

- To retain Cranbourne's clear sense of identity, self-reliance and township character.
- To maintain and strengthen the distinctive landscape character of the Cranbourne Township and the surrounding residential areas.
- To provide diversity in housing choice in the historic core of Cranbourne, which has a unique amenity of wide tree-lined streets.
- To encourage higher density housing close to the Cranbourne Major Activity Centre.
- To create quality and diverse housing and lifestyle opportunities.
- To ensure that the Cranbourne Major Activity Centre can maintain its present role and aspiration to become a Metropolitan Activity Centre whilst serving the additional significant residential growth forecast for the area.
- To use the attraction of the Cranbourne Racecourse and Training Complex and Cranbourne Gardens to create a distinctive sense of place.
- To refurbish, expand and develop Cranbourne's spaces, places and programs to reflect population growth.
- To upgrade main roads/intersections and provide safer local streets, convenient bus services and a safe trail network.
- To provide for the diversion of regional and through traffic out of Cranbourne.
- To create strong links to Cranbourne from surrounding areas.

21.15-3---/---/---
Proposed C275case**Strategies**

- Reinforce the identity, character, and sense of place of the older parts of residential Cranbourne and ensure new housing is complementary to these elements.
- Strengthen the established garden suburb environment, characterised by canopy trees, generous setbacks, a sense of openness and the dominance of the landscape setting.
- Support the designation of Cranbourne Major Activity Centre as a major activity centre and its development consistent with the *Cranbourne Major Activity Centre Structure Plan*.
- Encourage higher density residential development (i.e. 3-4 storeys) on well located sites within easy walking distance of the Cranbourne Major Activity Centre and public transport that respects the neighbourhood character, responds to the local landscape context, and minimises off-site amenity impacts.
- Provide for a full range of suburban housing opportunities throughout Cranbourne's residential areas, including well designed medium-density housing around activity centres and major open space.
- Encourage the expansion of the Cranbourne Home Restricted Retail Precinct south to the proposed Cranbourne Bypass Road (Linsell Boulevard).
- Encourage the upgrading of the significant racing and associated tourism facilities at the Cranbourne Racecourse and Training Complex.

CASEY PLANNING SCHEME

- Encourage the ongoing development of the Australian Garden and the associated tourism facilities at the Cranbourne Gardens.
- Discourage the establishment of uses that are incompatible with horse stabling activities within the designated horse stabling area identified on the Cranbourne Local Area Map.
- Ensure new horse stabling facilities, including the upgrade or expansion of existing facilities, do not adversely affect adjoining residential areas
- Ensure any application relating to land that has been filled within the Horse Stabling precinct identified on the Cranbourne Local Area Map be referred to the referral authority specified in Clause 66.04 or a schedule to that clause.
- Recognise, protect and enhance any areas of biodiversity significance within the surrounds of the Cranbourne Gardens.
- Encourage the sensitive siting and design of buildings in proximity to the Cranbourne Gardens to respond to its biological values, landscape quality and amenity.
- Create a suburban bushland and open space area under the major electricity transmission lines between Cranbourne-Frankston Road and Ballarto Road to act as an inter-suburban break between Cranbourne and Cranbourne West.
- Provide extensive boulevard planting along the main road network.
- Recognise uses with adverse amenity potential and prevent the encroachment of sensitive uses, until such time as any adverse off-site amenity impacts have been appropriately addressed or the activities creating the need for the buffers cease to operate.
- Seek to extend the electrification of the Cranbourne Railway line to Clyde.
- Upgrade Cemetery Road in the long-term to a collector road linking Ballarto Road with Sladen Street.
- Upgrade the standard of Ballarto Road between Cranbourne-Frankston Road and the entrance to the Cranbourne Gardens.

21.15-4 Implementation

Proposed C275case

These strategies will be implemented by the following measures:

Use of policy and the exercise of discretion

- Ensuring that the future use and development of land is generally in accordance with the Cranbourne Local Area Map.
- Using the Activity Centres Policy at Clause 22.01 to consolidate the role of the Cranbourne Major Activity Centre as a Major Activity Centre and to provide for the orderly development and expansion of the Camms Road, Cranbourne Place, Hotham Street, Lurline Street and Springhill Medium Neighbourhood Activity Centres.
- Using the Industrial Development Policy at Clause 22.03 to create an attractive and well maintained industrial area.

Application of zones and overlays

- Applying the Activity Centre Zone to land in the Cranbourne Major Activity Centre to implement the objectives and preferred use and development contained in the *Cranbourne Major Activity Centre Structure Plan*.
- Applying the Activity Centre Zone to existing residential land in the Cranbourne Major Activity Centre to identify areas for increased residential density and diversity of housing choice.

CASEY PLANNING SCHEME

- Applying the Activity Centre Zone, where appropriate, to land within the Cranbourne Major Activity Centre to provide for the use and development of the land in recognition of the centre's role as a Major Activity Centre activity centre under State Government Policy.
- Using the Activity Centre Zone in the Cranbourne Major Activity Centre to promote the development of signature and landmark buildings in strategic locations and gateways to create a positive image of the centre and the municipality.
- Applying the Commercial 1 Zone to activity centres with a primary retail function, including the Camms Road, Hotham Street and Lurline Street Local Neighbourhood Activity Centres and Springhill Medium Neighbourhood Activity Centre.
- Applying the Environmental Significance Overlay to identified buffer areas in the vicinity of the Cranbourne Gardens, to protect the ecological integrity, landscape values and amenity of the Gardens.
- Applying the Vegetation Protection Overlay to protect areas of significant remnant vegetation in the Brookland Greens estate.
- Applying the Heritage Overlay to heritage places of national, State and local significance, as identified in Council's relevant heritage studies and strategic work.
- Applying the Development Plan Overlay to provide for the integrated and orderly planning of future and developing residential areas, activity centres and other mixed use/commercial areas, as appropriate.
- Applying the Development Contributions Plan Overlay to future and developing residential areas to facilitate the timely delivery of appropriate transport, physical and community infrastructure.

Further strategic work

- Preparing urban design guidelines to ensure that new development adds value to the preferred future character of the area.
- Undertaking a strategic review of future land use and development within the Cyril Beechey Lane precinct, as identified on the Cranbourne Local Area Map.

21.15-5

Proposed C275case

Background documents

Cranbourne Major Activity Centre Structure Plan, City of Casey, 2020.

CASEY PLANNING SCHEME

21.15

04/04/2019
C204

CRANBOURNE

21.15-1

28/01/2021
C258case

Profile

The older parts of residential Cranbourne have a character and quality that is clearly recognised and valued by the community. The Cranbourne Major Activity Centre manages to keep its country town atmosphere while serving as a regional hub for a diverse community that has a growing sense of pride.

21.15-2

28/01/2021
C258case

Objectives

Proposed C275case To retain Cranbourne's clear sense of identity, self-reliance and township character.

-
- To maintain and strengthen the distinctive landscape character of the Cranbourne Township and the surrounding residential areas.
- To provide diversity in housing choice in the historic core of Cranbourne, which has a unique amenity of wide tree-lined streets.
- To encourage higher density housing close to the Cranbourne ~~Town~~Major Activity Centre.
- To create quality and diverse housing and lifestyle opportunities.
- To ensure that the Cranbourne Major Activity Centre can maintain its present role and aspiration to become a Metropolitan Activity Centre whilst serving the additional significant residential growth forecast for the area.
- To use the attraction of the Cranbourne Racecourse and Training Complex and Cranbourne Gardens to create a distinctive sense of place.
- To refurbish, expand and develop Cranbourne's spaces, places and programs to reflect population growth.
- To upgrade main roads/intersections and provide safer local streets, convenient bus services and a safe trail network.
- To provide for the diversion of regional and through traffic out of Cranbourne.
- To create strong links to Cranbourne from surrounding areas.

21.15-3

28/01/2021
C258case

Strategies

Proposed C275case Reinforce the identity, character, and sense of place of the older parts of residential Cranbourne

- and ensure new housing is complementary to these elements.
- Strengthen the established garden suburb environment, characterised by canopy trees, generous setbacks, a sense of openness and the dominance of the landscape setting.
- Support the designation of Cranbourne ~~Town~~Major Activity Centre as a ~~metropolitan~~major activity centre and ~~the development of the Cranbourne Major Activity Centre~~its development consistent with the *Cranbourne ~~Town-Centre~~Major Activity Centre Structure Plan*.
- Encourage higher density residential development (i.e. 3-4 storeys) on well located sites within easy walking distance of the Cranbourne Major Activity Centre and public transport that respects the neighbourhood character, responds to the local landscape context, and minimises off-site amenity impacts.
- Provide for a full range of suburban housing opportunities throughout Cranbourne's residential areas, including well designed medium-density housing around activity centres and major open space.

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- Expand and strengthen the Cranbourne Major Activity Centre to reflect its traditional role as a major service centre for the South Gippsland region and also its role as a Principal Activity Centre servicing the southern part of Melbourne's South East Growth Corridor. Key strategies include:
 - Provide for a major expansion of the Town Centre retail core that allows for a new discount department store and speciality shops.
 - Encourage the growth and development of the High Street retail core.
 - Provide for the improved integration of Cranbourne Park Shopping Centre with High Street.
 - Encourage the consolidation and growth of the northern and southern approaches to the Cranbourne Major Activity Centre along the South Gippsland Highway, as a major commercial and business corridor.
 - Facilitate the development of the proposed Cranbourne Bypass Road (Linsell Boulevard) to reduce through traffic in the Cranbourne Major Activity Centre.
 - Revitalise the Cranbourne Major Activity Centre to improve its image, built form and landscape character to create an active, attractive and accessible town centre that serves its increasing catchment area without detracting from its country town character.
 - Encourage the consolidation of lots to achieve good design outcomes.
 - Provide for "youth-friendly" spaces in the future planning of the Cranbourne Major Activity Centre.
- Encourage the expansion of the Cranbourne Home Restricted Retail Precinct south to the proposed Cranbourne Bypass Road (Linsell Boulevard).
- Encourage the upgrading of the significant racing and associated tourism facilities at the Cranbourne Racecourse and Training Complex.
- Encourage the ongoing development of the Australian Garden and the associated tourism facilities at the Cranbourne Gardens.
- Discourage the establishment of uses that are incompatible with horse stabling activities within the designated horse stabling area identified on the Cranbourne Local Area Map.
- Ensure new horse stabling facilities, including the upgrade or expansion of existing facilities, do not adversely affect adjoining residential areas
- Ensure any application relating to land that has been filled within the Horse Stabling precinct identified on the Cranbourne Local Area Map be referred to the referral authority specified in Clause 66.04 or a schedule to that clause.
- Recognise, protect and enhance any areas of biodiversity significance within the surrounds of the Cranbourne Gardens.
- Encourage the sensitive siting and design of buildings in proximity to the Cranbourne Gardens to respond to its biological values, landscape quality and amenity.
- Create a suburban bushland and open space area under the major electricity transmission lines between Cranbourne-Frankston Road and Ballarto Road to act as an inter-suburban break between Cranbourne and Cranbourne West.
- Provide extensive boulevard planting along the main road network.
- Recognise uses with adverse amenity potential and prevent the encroachment of sensitive uses, until such time as any adverse off-site amenity impacts have been appropriately addressed or the activities creating the need for the buffers cease to operate.
- Seek to extend the electrification of the Cranbourne Railway line to Clyde.

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- Upgrade Cemetery Road in the long-term to a collector road linking Ballarto Road with Sladen Street.
- Upgrade the standard of Ballarto Road between Cranbourne-Frankston Road and the entrance to the Cranbourne Gardens.
- ~~Facilitate the redevelopment of existing residential areas in the Cranbourne Town Centre having regard to the objectives of the Cranbourne Town Centre Plan.~~

21.15-4 Implementation

28/04/2024
G258case

Proposed C275case These strategies will be implemented by the following measures:

Use of policy and the exercise of discretion

- Ensuring that the future use and development of land is generally in accordance with the Cranbourne Local Area Map.
- Using the Activity Centres Policy at Clause 22.01 to consolidate the role of the Cranbourne ~~Town~~Major Activity Centre as a Major Activity Centre and to provide for the orderly development and expansion of the Camms Road, Cranbourne Place, Hotham Street, Lurline Street and Springhill Medium Neighbourhood Activity Centres.
- Using the Industrial Development Policy at Clause 22.03 to create an attractive and well maintained industrial area.

Application of zones and overlays

- Applying the Activity Centre Zone to land in the Cranbourne ~~Town~~Major Activity Centre to implement the objectives and preferred use and development contained in the ~~Cranbourne Town Centre~~Major Activity Centre Structure Plan.
- Applying the Activity Centre Zone to existing residential land in the Cranbourne ~~Town~~Major Activity Centre to identify areas for ~~increase~~increased residential density and diversity of housing choice.
- Applying the Activity Centre Zone, where appropriate, to land within the Cranbourne ~~Town~~Major Activity Centre to provide for the use and development of the land in recognition of the centre's role as ~~ana~~ Major Activity Centre activity centre under State Government Policy.
- Using the Activity Centre Zone in the Cranbourne ~~Town~~Major Activity Centre to promote the development of signature and landmark buildings in strategic locations and gateways to create a positive image of the centre and the municipality.
- Applying the Commercial 1 Zone to activity centres with a primary retail function, including the Camms Road, ~~Cranbourne Place~~, Hotham Street, and Lurline Street ~~Local Neighbourhood Activity Centres~~ and Springhill Medium Neighbourhood Activity ~~Centres~~Centre.
- Applying the Environmental Significance Overlay to identified buffer areas in the vicinity of the Cranbourne Gardens, to protect the ecological integrity, landscape values and amenity of the Gardens.
- Applying the Vegetation Protection Overlay to protect areas of significant remnant vegetation in the Brookland Greens estate.
- Applying the Heritage Overlay to heritage places of national, State and local significance, as identified in Council's relevant heritage studies and strategic work.

CASEY PLANNING SCHEME

- Applying the Development Plan Overlay to provide for the integrated and orderly planning of future and developing residential areas, activity centres and other mixed use/commercial areas, as appropriate.
- Applying the Development Contributions Plan Overlay to future and developing residential areas to facilitate the timely delivery of appropriate transport, physical and community infrastructure.

Further strategic work

- Preparing urban design guidelines to ensure that new development adds value to the preferred future character of the area.
- ~~Reviewing access to the Cranbourne Town Centre.~~
- ~~Preparing specific advertising sign guidelines for the Cranbourne Town Centre to improve visual amenity.~~
- Undertaking a strategic review of future land use and development within the Cyril Beechey Lane precinct, as identified on the Cranbourne Local Area Map.

Other actions

- ~~Implementing the Cranbourne Town Centre Plan.~~

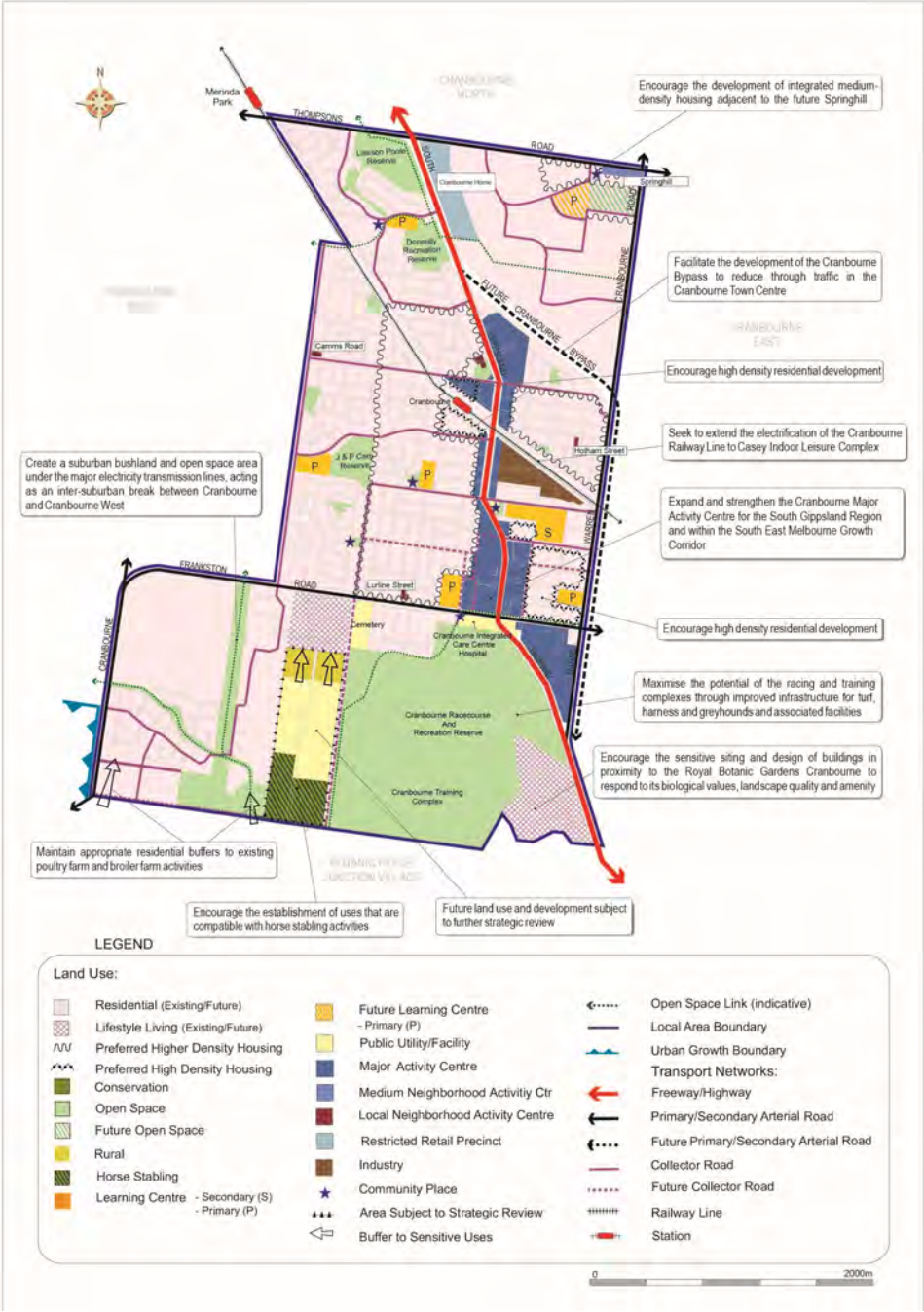
21.15-5**Background documents**

~~28/04/2024~~
~~6258case~~ Proposed C275case Cranbourne ~~Town Centre~~ Major Activity Centre Structure Plan, City of Casey, ~~2017~~2020.

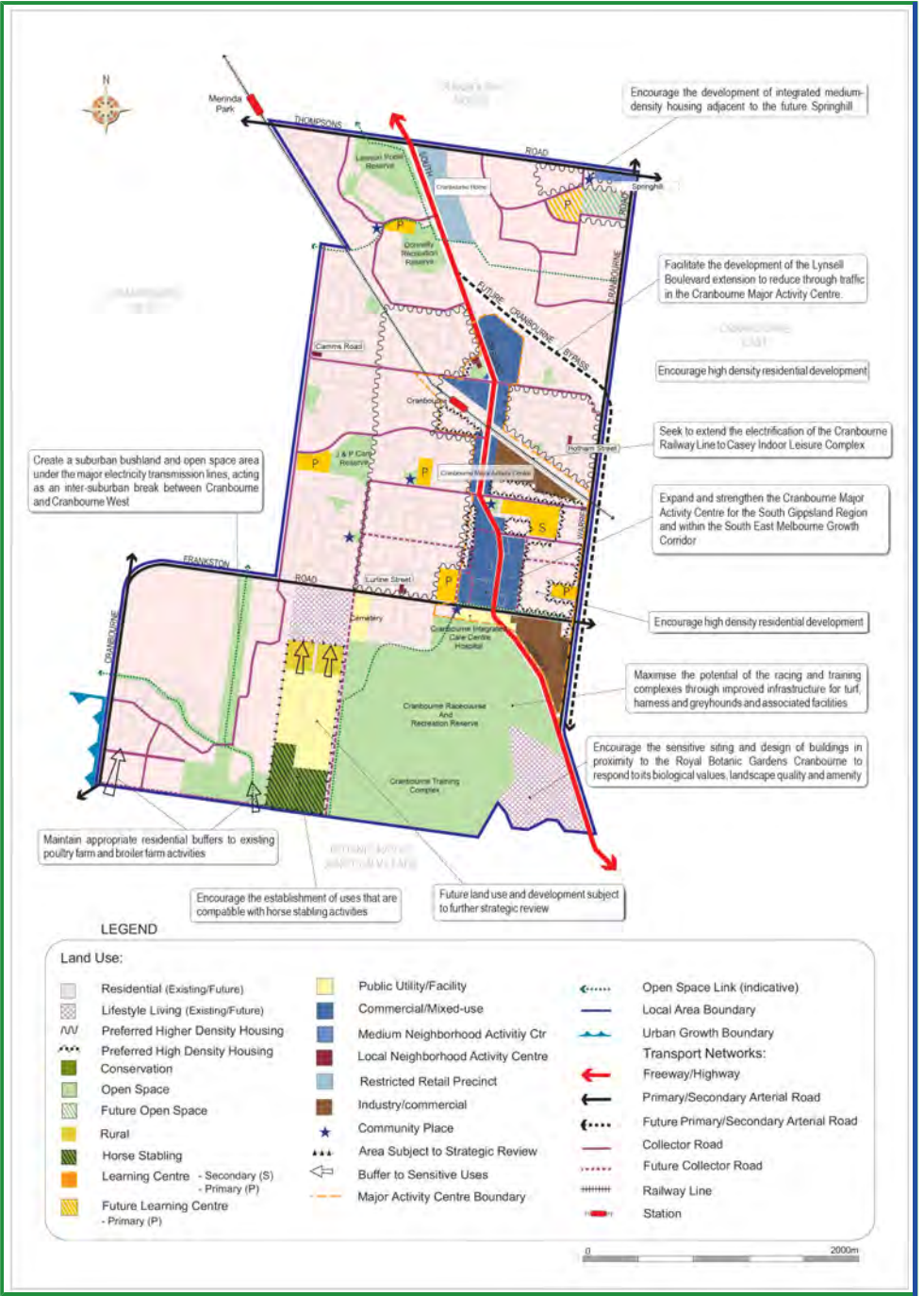
CASEY PLANNING SCHEME

21.15-6 Cranbourne Local Area Map

28/04/2024
G258 case Proposed C275 case



CASEY PLANNING SCHEME



CASEY PLANNING SCHEME

21.1604/04/2019
C204**CRANBOURNE EAST****21.16-1**09/02/2017
C250**Profile**

Cranbourne East is a quality, treed suburban environment with a country feel and benefiting from unique access to extensive parkland areas. It has strong links to Cranbourne, and easy access to a full range of employment, learning, shopping and community services.

21.16-228/01/2021
C258case**Objectives**

- To extend Cranbourne's treed image into Cranbourne East and establish links in the suburban area to the surrounding parkland and countryside.
- To provide strong links to Cranbourne with a focus on the Cranbourne Major Activity Centre for sub-regional and regional services and facilities.
- To create quality and diverse housing and lifestyle opportunities.
- To develop, expand and refurbish Cranbourne East's spaces, places and programs to reflect population growth.
- To upgrade main roads/intersections and provide safer local streets, convenient bus services and a safe trail network.
- To provide expansive parkland to service the region.

21.16-3---/---/---
Proposed C275case**Strategies**

- Extend Cranbourne's green-treed country feel and character into the newer residential areas of Cranbourne East by encouraging extensive tree planting within streets, parks, public spaces and on private land, and by maintaining views and links through to open space and non-urban areas.
- Provide for a full range of suburban housing opportunities throughout the residential areas, including well designed and integrated medium density housing around activity centres and major open space, and larger lots where appropriate to improve diversity within the Cranbourne region.
- Maintain and enhance the residential streetscapes as a garden suburb environment, characterised by a quality and diverse built form in a landscaped setting.
- Encourage integrated medium-density housing opportunities adjacent to the future Cranbourne East Station.
- Maintain buffers and manage the interface of the residential areas with the existing abattoir and industrial activities along Thompsons Road, to protect the operation of existing uses and minimise loss of residential amenity.
- Encourage further development at the Casey Complex to reinforce its role as a major leisure, recreational, educational, community and mixed use precinct.
- Provide extensive boulevard planting along the main road network.
- Seek to extend the electrification of the Cranbourne Railway line to Clyde.
- Develop Linsell Boulevard as a new east-west arterial road linking Narre Warren-Cranbourne Road with Berwick-Cranbourne Road.
- Develop a new north-south arterial road (Casey Fields Boulevard) ultimately linking the proposed Glasscocks Road in the north with South Gippsland Highway and the Craig Road deviation in the south.
- Develop a new north-south collector road linking Linsell Boulevard, the Casey Complex, Berwick-Cranbourne Road and Ballarto Road.

CASEY PLANNING SCHEME

- Upgrade Heather Grove to a collector road linking future suburban development east and west of the Collison Estate residential area.
- Facilitate the provision of appropriate primary and secondary school facilities, together with a number of local sports areas, to service the future community of Cranbourne East.
- Develop Casey Fields as a regional outdoor sports and recreation facility.

21.16-4 Implementation

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Proposed C275case

These strategies will be implemented by the following measures:

Use of policy and the exercise of discretion

- Ensuring that the future use and development of land is generally in accordance with the Cranbourne East Local Area Map.
- Using the Activity Centres Policy at Clause 22.01 to provide for the orderly development and expansion of activity centres.

Application of zones and overlays

- Applying the Activity Centre Zone to land within the Casey Complex and its surrounds to implement the objectives and preferred use and development contained in the *Cranbourne Major Activity Centre Structure Plan*.
- Applying the Commercial 1 Zone to activity centres with a primary retail function, including the Hunt Club Village Medium Neighbourhood Activity Centre and future activity centres.
- Applying the Green Wedge Zone to land located outside the urban growth boundary to reflect its non-urban status.
- Applying the Farming Zone to protect land within the urban growth boundary from inappropriate subdivision and/or development.
- Applying the Urban Growth Zone to undeveloped land designated for future urban purposes to manage the transition from non-urban to urban in accordance with a precinct structure plan.
- Applying the Environmental Significance Overlay to areas of identified environmental significance.
- Applying the Heritage Overlay to heritage places of national, State and local significance, as identified in relevant Council's heritage studies and strategic work.
- Applying the Development Plan Overlay to provide for the integrated and orderly planning of developing residential areas and activity centres, as appropriate.
- Applying the Development Contributions Plan Overlay to future and developing residential areas to facilitate the timely delivery of appropriate transport, physical and community infrastructure.

21.16-5 Background documents

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Proposed C275case

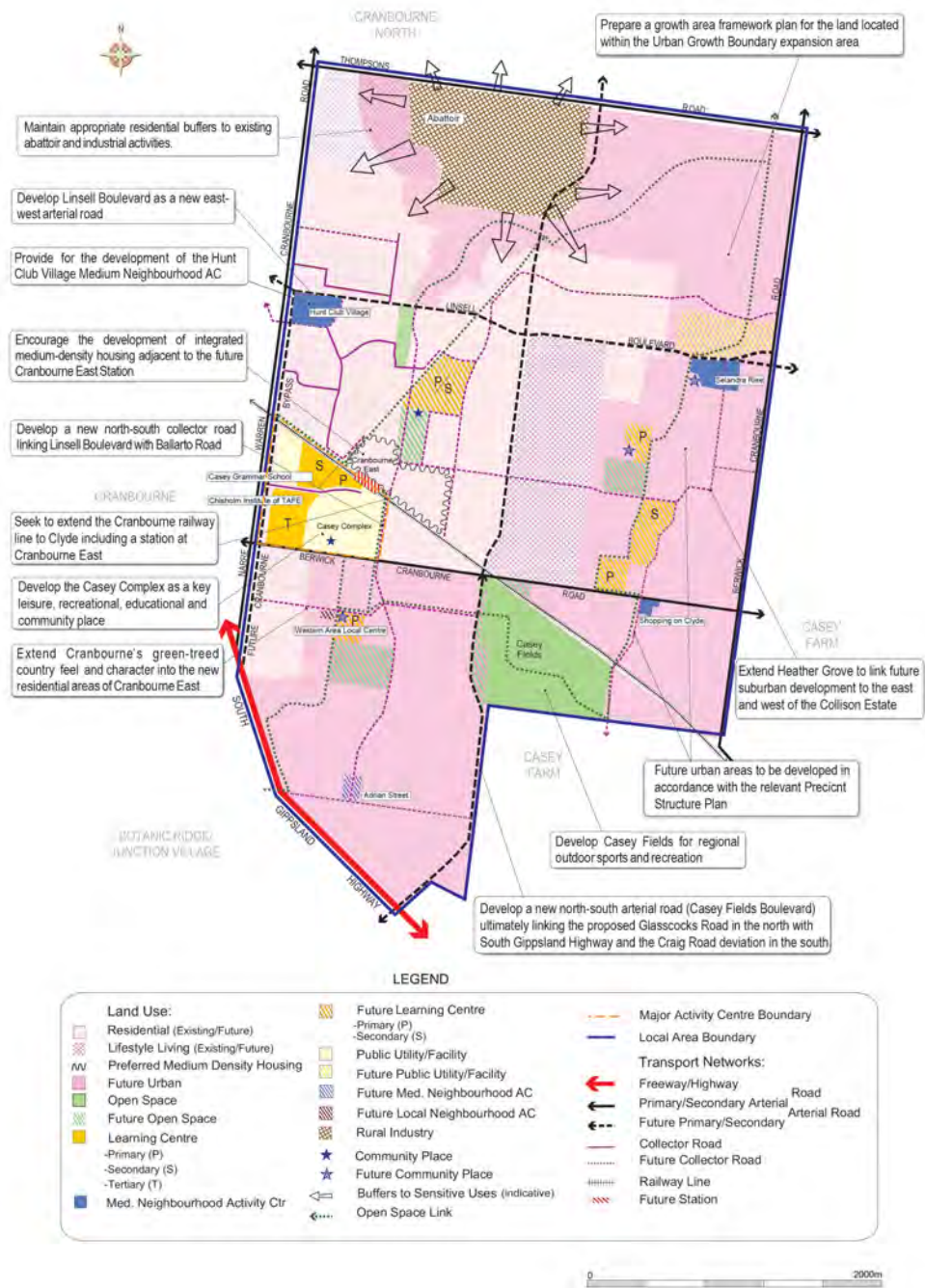
Cranbourne Major Activity Centre Structure Plan, City of Casey, 2020.

Casey Complex Urban Design Framework, City of Casey, 2019.

CASEY PLANNING SCHEME

21.16-6 Cranbourne East Local Area Map

Proposed C275case



CASEY PLANNING SCHEME

21.1604/04/2019
C204**CRANBOURNE EAST****21.16-1**09/02/2017
C250**Profile**

Cranbourne East is a quality, treed suburban environment with a country feel and benefiting from unique access to extensive parkland areas. It has strong links to Cranbourne, and easy access to a full range of employment, learning, shopping and community services.

21.16-228/01/2021
C258case**Objectives**

- To extend Cranbourne's treed image into Cranbourne East and establish links in the suburban area to the surrounding parkland and countryside.
- To provide strong links to Cranbourne with a focus on the Cranbourne Major Activity Centre for sub-regional and regional services and facilities.
- To create quality and diverse housing and lifestyle opportunities.
- To develop, expand and refurbish Cranbourne East's spaces, places and programs to reflect population growth.
- To upgrade main roads/intersections and provide safer local streets, convenient bus services and a safe trail network.
- To provide expansive parkland to service the region.

21.16-328/01/2021
G258caseProposed C275case**Strategies**

- Extend Cranbourne's green-treed country feel and character into the newer residential areas of Cranbourne East by encouraging extensive tree planting within streets, parks, public spaces and on private land, and by maintaining views and links through to open space and non-urban areas.
- Provide for a full range of suburban housing opportunities throughout the residential areas, including well designed and integrated medium density housing around activity centres and major open space, and larger lots where appropriate to improve diversity within the Cranbourne region.
- Maintain and enhance the residential streetscapes as a garden suburb environment, characterised by a quality and diverse built form in a landscaped setting.
- Encourage integrated medium-density housing opportunities adjacent to the future Cranbourne East Station.
- Maintain buffers and manage the interface of the residential areas with the existing abattoir and industrial activities along Thompsons Road, to protect the operation of existing uses and minimise loss of residential amenity.
- Encourage further development at the Casey Complex to reinforce its role as a major leisure, recreational, educational, community and mixed use **cluster precinct**.
- Provide extensive boulevard planting along the main road network.
- Seek to extend the electrification of the Cranbourne Railway line to Clyde.
- Develop Linsell Boulevard as a new east-west arterial road linking Narre Warren-Cranbourne Road with Berwick-Cranbourne Road.
- Develop a new north-south arterial road (Casey Fields Boulevard) ultimately linking the proposed Glasscocks Road in the north with South Gippsland Highway and the Craig Road deviation in the south.
- Develop a new north-south collector road linking Linsell Boulevard, the Casey Complex, Berwick-Cranbourne Road and Ballarto Road.

CASEY PLANNING SCHEME

- Upgrade Heather Grove to a collector road linking future suburban development east and west of the Collision Estate residential area.
- Facilitate the provision of appropriate primary and secondary school facilities, together with a number of local sports areas, to service the future community of Cranbourne East.
- Develop Casey Fields as a regional outdoor sports and recreation facility.

21.16-4 Implementation

28/04/2024
G256case

Proposed C275case These strategies will be implemented by the following measures:

Use of policy and the exercise of discretion

- Ensuring that the future use and development of land is generally in accordance with the Cranbourne East Local Area Map.
- Using the Activity Centres Policy at Clause 22.01 to provide for the orderly development and expansion of activity centres.

Application of zones and overlays

- Applying the Activity Centre Zone to land within the Casey Complex and its surrounds to implement the objectives and preferred use and development contained in the *Cranbourne Town-Centre Plan-Major Activity Centre Structure Plan*. (City of Casey, 2017).
- Applying the Commercial 1 Zone to activity centres with a primary retail function, including the Hunt Club Village Medium Neighbourhood Activity Centre and future activity centres.
- Applying the Green Wedge Zone to land located outside the urban growth boundary to reflect its non-urban status.
- Applying the Farming Zone to protect land within the urban growth boundary from inappropriate subdivision and/or development.
- Applying the Urban Growth Zone to undeveloped land designated for future urban purposes to manage the transition from non-urban to urban in accordance with a precinct structure plan.
- Applying the Environmental Significance Overlay to areas of identified environmental significance.
- Applying the Heritage Overlay to heritage places of national, State and local significance, as identified in relevant Council's heritage studies and strategic work.
- Applying the Development Plan Overlay to provide for the integrated and orderly planning of developing residential areas and activity centres, as appropriate.
- Applying the Development Contributions Plan Overlay to future and developing residential areas to facilitate the timely delivery of appropriate transport, physical and community infrastructure.

21.16-5 Background documents

28/04/2024
G256case

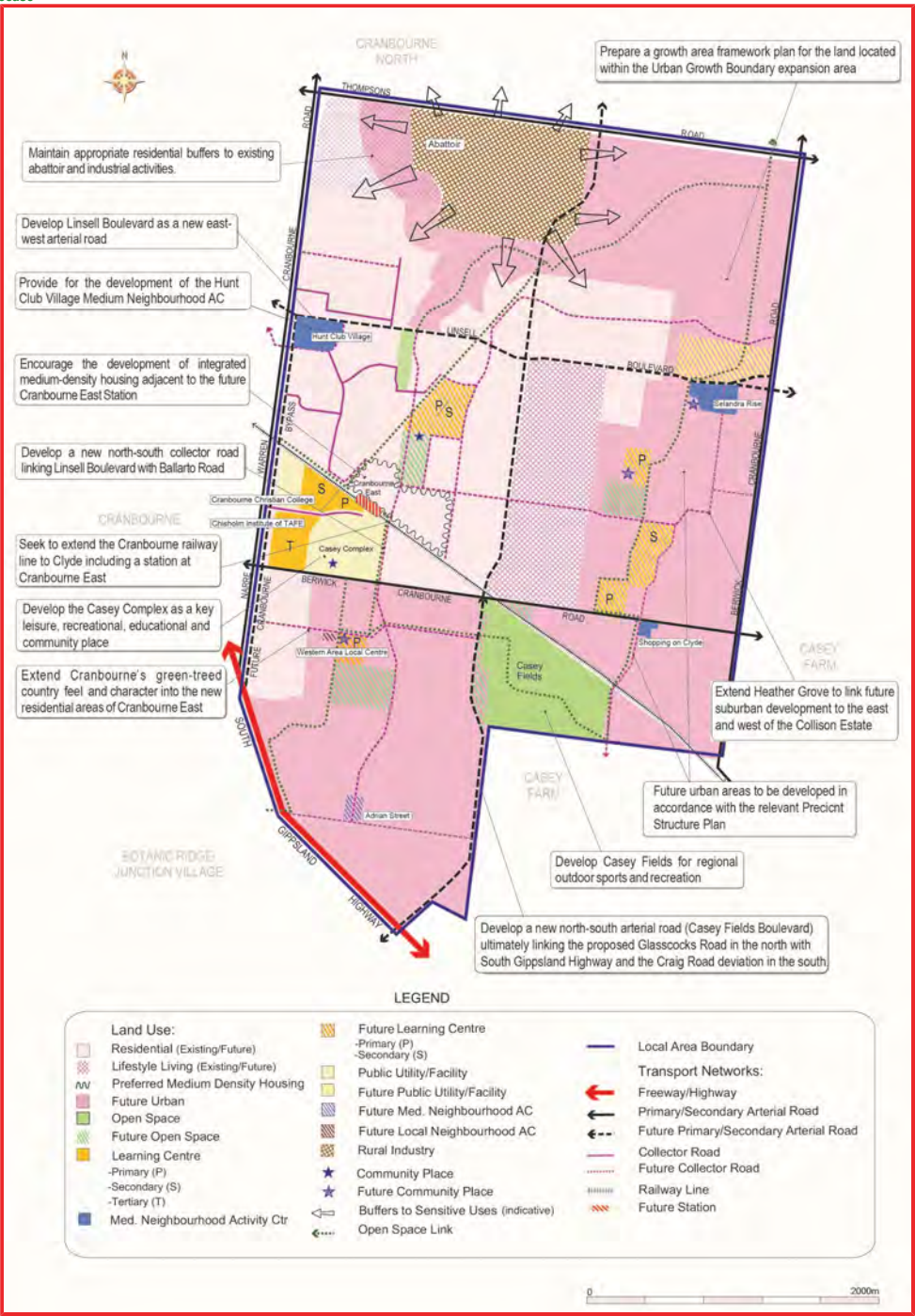
Proposed C275case Cranbourne *Town-Centre Major Activity Centre Structure Plan*, City of Casey, 2017/2020.

Casey Complex Urban Design Framework, City of Casey, 2019.

CASEY PLANNING SCHEME

21.16-6 Cranbourne East Local Area Map

28/04/2024
G258caseProposed C275case



CASEY PLANNING SCHEME

04/04/2019
G204

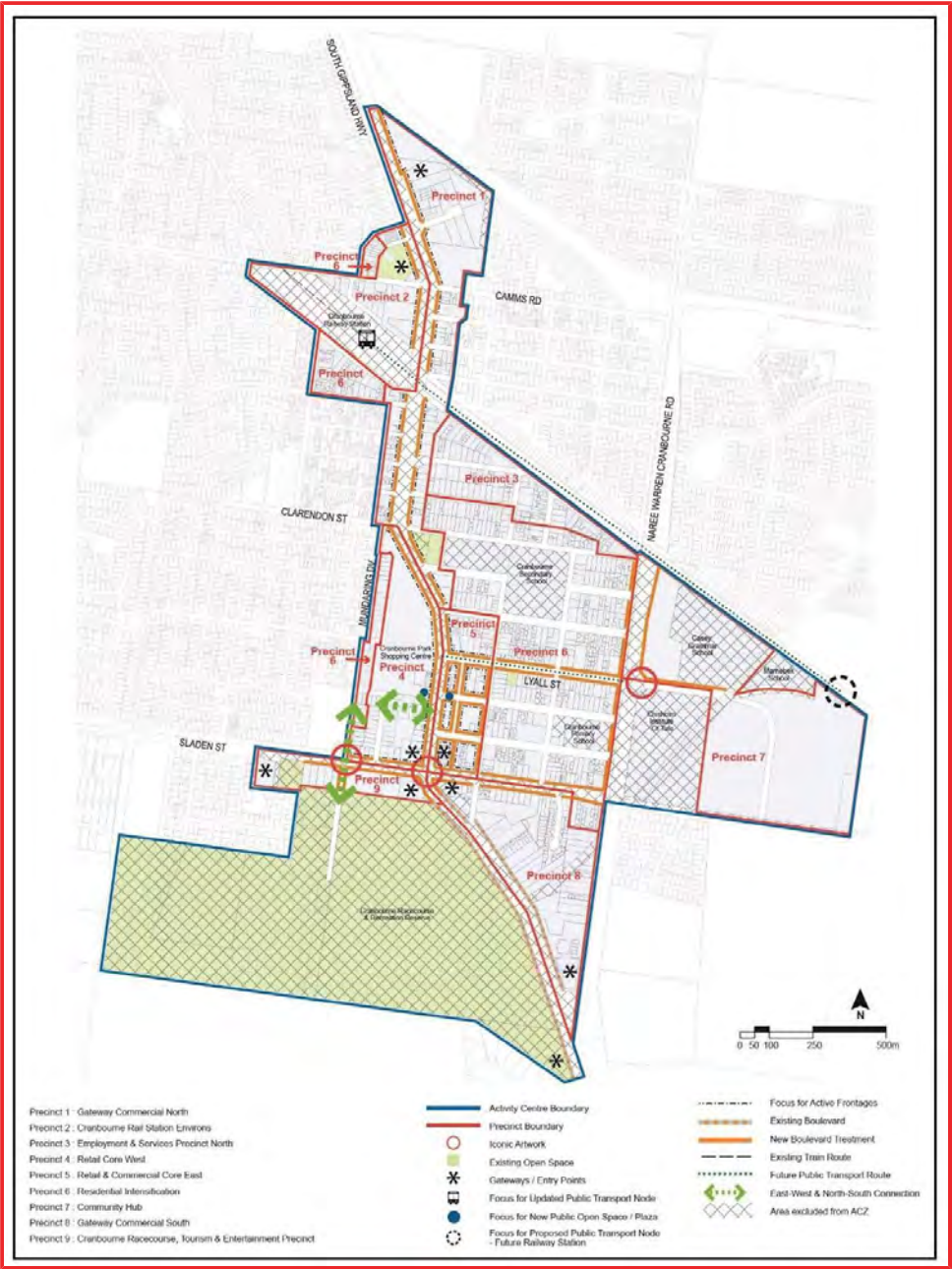
SCHEDULE 1 TO CLAUSE 37.08 ACTIVITY CENTRE ZONE

Shown on the planning scheme map as **ACZ1**.

GRANBOURNE TOWN CENTRE

1.0
04/04/2019
G204

Granbourne Town Centre Framework Plan



2.0
04/04/2019
G204

Land use and development objectives to be achieved

- To promote a sustainable and vibrant mixed-use activity-centre which is a regional destination with a strong sense of place and civic identity which serves the local and wider community.

CASEY PLANNING SCHEME

- To develop the Cranbourne Town Centre as a focus for contemporary, high-density residential development incorporating a mix of complementary retail, commercial, entertainment, employment, education and community uses.
- To ensure land use and development facilitates a range of sustainable local employment and business opportunities.
- To promote the Casey Complex as a modern, high-standard, regional sporting and recreational facility with integrated uses and community services.
- To promote developments which are flexible with an intensity and mixture of land uses around key transport nodes
- To provide a high level of activity to attract people, provide a focal point for the community, create an attractive and safe urban environment and increase opportunities for social interaction.
- To substantially increase the provision, density and diversity of housing types by offering the community a wider range of housing opportunities.

Built form

- To create a visually appealing built form within attractive streetscapes and increase the intensity, scale and density of development to reflect the status of the Cranbourne Town Centre as a significant location, both within Casey and the broader Melbourne metropolitan area.
- To create a sense of identity in the Cranbourne Town Centre by encouraging high quality architecture which incorporates art into the design and/or in adjacent public areas
- To ensure an appropriate transition in height from within the Cranbourne Town Centre to surrounding areas.
- To establish 'gateway' locations within the Cranbourne Town Centre with distinguishing architecture, higher built form and innovative urban design.

Environmental sustainability

- To ensure Australian 'best practice' environmentally sustainable design is exceeded in relation to building energy management, water-sensitive urban design, construction materials, indoor environment quality, waste management and transport.

Public realm

- To encourage active street frontages and pedestrian-generating activities to be located along roads and streets.
- To facilitate use and enjoyment of public urban spaces, pedestrian and bicycle paths, plazas and streetscapes through well-considered urban design.
- To encourage artwork in suitable locations to contribute to the creation of a distinctive sense of identity.

Open space and landscaping

- To create and maintain a healthy landscaped environment which includes treed boulevards with active frontages and high-quality landscaping along the length of High Street-South Gippsland Highway, Lyall Street and Sladen Street.
- To achieve development that provides accessible, safe, attractive and functional private and public open space opportunities that, are well-connected and integrated within a permeable urban environment.

Transport and access

- To develop well-defined movement networks and access that provide strong linkages, increase public transport patronage and improve pedestrian and bicycle users' amenity.

CASEY PLANNING SCHEME

- To provide for well-defined vehicular, bicycle and pedestrian access.
- To strengthen pedestrian movement throughout the centre, specifically by reinforcing the east-west connections across High Street.

3.0

04/04/2019
6284

Table of uses

Section 4 – Permit not required

Use	Condition
Accommodation (other than Camping and caravan park; Garetaker's house; Corrective institution; Residential building; Residential village; Retirement village and Host farm)	Must not be in Precinct 3 or Sub-precincts 1A, 8C or 8D: Any frontage at ground level in Sub-precincts 1B–1F, 1H, 2A, 2C, 4, 5, 7A, 7C, 8A or 8B must not exceed 2 metres.
Animal keeping (other than Animal boarding)	Must be no more than 2 animals.
Bus terminal	
Child care centre	Must be located within Precinct 4, 5, 7 or 9 or Sub-precincts 8A or 8B.
Cinema	Must be located in Precinct 4.
Convenience shop	Must not be located in Precinct 3, 6 or 9 or Sub-precinct 8C: Must be at ground level.
Education centre	Must be located in Precinct 4 or 7.
Food and drink premises (other than Hotel and Tavern)	Must not be in Precinct 3, 6 or Sub-precinct 8C.
Home-based business	Must meet the requirements of Clause 52.11.
Industry (other than Refuse disposal and Service industry)	Must be located in Precinct 3 or Sub-precincts 8C or 8D: Must not be a purpose shown with a Note 1 or 2 in the table to Clause 52.10: The land must be at least the following distances from land (not a road) which is in a residential zone, land used for a hospital or an education centre or land in a Public Acquisition Overlay to be acquired for a hospital or an education centre: <ul style="list-style-type: none"> ■ The threshold distance, for a purpose listed in the table to Clause 52.10: ■ 30 metres, for a purpose not listed in the table to Clause 52.10:
Informal outdoor recreation	

CASEY PLANNING SCHEME

Use	Condition
Leisure and recreation (other than Informal outdoor recreation, Motor racing track and Restricted recreation facility)	Must be located in Precinct 7.
Medical centre	In Precinct 6, the gross floor area of all buildings must not exceed 250 square metres. In Precincts 1, 3, 4, 7 or 9 or Sub-precincts 2A, 2C, 5A, 5C, 5D, 8C or 8D, any frontage at ground floor level must not exceed 2 metres, unless the frontage is a customer service area accessible to the public.
Office (other than Medical centre)	Must not be located in Precinct 6. In Precinct 1, 3, 4, 7 or 9 or Sub-precincts 2A, 2C, 5A, 5C, 5D, 8C or 8D, any frontage at ground floor level must not exceed 2 metres, unless the office is a bank, real estate agency, travel agency, or other office where the floor space adjoining the frontage is a customer service area accessible to the public.
Open sports ground	Must be located in Precinct 7.
Place of assembly (other than Cinema, Drive-in theatre, Nightclub and Place of worship)	Must be located in Precincts 4 or 7.
Place of worship	Must be located in Precinct 6. The gross floor area of all buildings must not exceed 250 square metres. The site must adjoin, have access to, a road in a Road Zone.
Postal agency	
Railway station	Must be located in Precinct 2 or 7.
Restricted retail premises	Must be located in Sub-precincts 1A or 8D. Must have a minimum leasable floor area of 1,000 square metres.
Service industry	Must be located in Precinct 3 or Sub-precinct 8C or 8D.
Shop (other than Adult sex product shop, Restricted retail premises and Convenience shop)	Must be located in Precinct 4 or 5 or Sub-precincts 1D-1F, 2C or 7C.
Warehouse (other than Fuel depot)	Must be located in Precinct 3, or Sub-precincts 8C or 8D. Must not be a purpose shown with a Note 1 or 2 in the table to Clause 52.10. The land must be at least the following distances from land (not a road) which is in a residential zone, land used for a hospital or an education centre or land in a Public Acquisition Overlay to be acquired for a hospital or an education centre:

CASEY PLANNING SCHEME

Use	Condition
	<ul style="list-style-type: none"> ■ The threshold distance, for a purpose listed in the table to Clause 52.10: ■ 30 metres, for a purpose not listed in the table to Clause 52.10:
Any use listed in Clause 62.04	Must meet requirements of Clause 62.04

Section 2 – Permit required

Use	Condition
Adult sex product shop	<p>Must not be located in Precinct 6:</p> <p>Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from land which is in Precinct 6 or a residential zone, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school:</p>
Animal keeping (other than Animal boarding) – if the Section 4 condition is not met	Must be no more than 5 animals:
Child care centre – if the Section 4 condition is not met	Must not be located in Sub-precincts 1A, 8C or 8D:
Cinema – if the Section 4 condition is not met	Must not be located in Precinct 2, 3, 6 or 8, or Sub-precincts 1A, 4C-4H:
Cinema based entertainment facility	Must not be located in Precinct 2, 3, 6, 7 or 8, or Sub-precincts 1A, 4C-4H:
Convenience restaurant	In Precinct 6 the site must adjoin, or have access to, a road in a Road Zone:
Convenience shop – if the Section 4 Condition is not met:	
Food and drink premises (other than Convenience restaurant and Take away food premises) – if the section 4 condition is not met	
Hotel	Must not be located in Precinct 6:
Industry (other than Refuse disposal and Service industry) – if the Section 4 condition is not met:	<p>Must not be located in Precinct 4, 5, or 6. Must be in conjunction with one or more other uses in section 1 or 2:</p> <p>Must not be a purpose shown with a Note 1 or 2 in the table to Clause 52.10:</p>

CASEY PLANNING SCHEME

Use	Condition
Leisure and recreation (other than Informal outdoor recreation, Motor racing track and Restricted recreation facility) – if the Section 4 condition is not met	Must be located in Precinct 3, 4 and 8.
Nightclub	Must be in Precinct 1, 4, 5 or 9.
Office (other than Medical centre) – if the Section 4 condition is not met	<p>In Precinct 6:</p> <ul style="list-style-type: none"> ■ The land must be located within 100 metres of an adjoining precinct in the Activity Centre Zone. ■ The land must have the same street frontage as the land in the adjoining precinct in the Activity Centre Zone. ■ The leasable floor area must not exceed 250 square metres.
Retail premises (other than Food and drink premises, Postal agency and Shop)	Must not be in Precinct 6.
Service industry – if the Section 4 condition is not met.	Must not be located in Precinct 6.
Shop (other than Adult sex product shop, Restricted retail premises and Convenience shop) – if the Section 4 condition is not met.	<p>In Precinct 6:</p> <ul style="list-style-type: none"> ■ The land must be located within 100 metres of land in an adjoining precinct in the Activity Centre Zone. ■ The land must have the same street frontage as the land in the adjoining precinct in the Activity Centre Zone.
Take-away food premises	In Precinct 6 the site must adjoin, or have access to, a road in a Road Zone.
Tavern	Must not be located in Precinct 6.
Warehouse (other than Fuel depot) – if the Section 4 condition is not met	<p>Must not be located in Precincts 4, 5, 6, 7 or 9.</p> <p>Must be in conjunction with one or more other uses in section 4 or 2.</p> <p>Must not be a purpose shown with a Note 1 or 2 in the table to Clause 52.10.</p>
Any other use not in Section 4 or 3	

Section 3 – Prohibited

Use
Agriculture (other than Animal keeping and Apiculture)
Camping and caravan park

CASEY PLANNING SCHEME

Use
Cemetery
Corrective institution
Crematorium
Drive-in theatre
Fuel depot
Motor racing track
Refuse disposal
Transport terminal (other than Railway station and Bus terminal)

4.019/03/2015
G157**Gentle-wide provisions****4.1**19/03/2015
G157**Use of land**

A permit is not required to use public land for the purpose of public utility and community facilities or any associated use that is consistent with the intent of the public land reservation or purpose as is carried out by, or on behalf of, the public land manager.

4.219/03/2015
G157**Subdivision**

The subdivision of sites within the retail core is discouraged to facilitate the creation of viable development sites.

The consolidation of land to facilitate the creation of viable development sites is encouraged.

4.304/04/2019
G284**Buildings and works**

No permit is required to construct a building or construct or carry out works for the following:

- The installation of an automatic teller machine.
- The alteration to an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground floor level is maintained as an entry or window with clear glazing.
- Buildings and works for the purpose of public utility and community facilities or any associated use that is consistent with the intent of the public land reservation or purpose as is carried out by, or on behalf of, the public land manager.
- Construct or extend one dwelling on a lot more than 300 square metres. This exemption does not apply to:
 - Construct a dwelling if there is at least one dwelling existing on the lot.
 - Extend a dwelling if there are two or more dwellings on the lot.
 - Construct or extend a dwelling if it is on common property.

CASEY PLANNING SCHEME

- Construct or extend a front fence within 3 metres of a street if the fence is associated with two or more dwellings on a lot or a residential building, and the fence exceeds the maximum height specified in Clause 55.06-2.
- Construct a dwelling that is to be used for the purpose of a caretaker's house or a bed and breakfast.
- Construct or carry out works normal to a dwelling.
- Construct or extend an out-building (other than a garage or carport) on a lot, provided the gross floor area of the out-building does not exceed 10 square metres and the maximum building height is not more than 3 metres above ground level.
- Construct one dependent person's unit on a lot.

4.404/04/2019
6284**Design and development**

The following design and development requirements apply to an application to construct a building or construct or carry out works:

Residential development

On a lot of less than 300 square metres, a development must meet the requirements of Clause 54 if it proposes to:

- Construct or extend one dwelling; or
- Construct or extend a front fence within 3 metres of a street if the fence is associated with one dwelling.

A development up to four storeys, excluding a basement, must meet the requirements of Clause 55 if it proposes to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.
- Construct or extend a front fence within 3 metres of a street if:
 - The fence is associated with 2 or more dwellings on a lot or a residential building, and
 - The fence exceeds the maximum height specified in Clause 55.06-2.

Building height

Buildings and works should not exceed the preferred heights specified in the precinct provisions at Clause 5 of this schedule.

Consideration will be given to higher built form where any of the following occur:

- A proposal demonstrates design excellence;
- A proposal meets the objectives and decision guidelines of this Schedule;
- A proposal is on a designated gateway or significant building site;
- Where the additional height will benefit the activity centre.

For the purposes of this Schedule, the preferred height does not apply to service equipment including plant rooms, lift overruns, solar collectors and other such equipment provided the following criteria are met:

- No more than 50% of the roof area is occupied by the equipment.

CASEY PLANNING SCHEME

- The equipment is located in a position on the roof so as to minimise additional overshadowing of neighbouring properties and public spaces.
- The equipment is designed, screened and finished in a non-reflective material and of a colour to the satisfaction of the responsible authority.

Building setbacks

Minor works such as verandahs, architectural features, balconies, sunshades, screens and artworks may be constructed within the setback area specified in the precinct provisions at Clause 5 of this Schedule, provided they are designed and located to the satisfaction of the responsible authority.

Buildings and works should not exceed the preferred setback specified in the precinct provisions at Clause 5 of this Schedule.

Landscape design

Landscape design should:

- Create private and public open space areas that are accessible, safe, attractive and functional.

Access and mobility

New development should:

- Comply with the Australian Standard AS1428 Part 2 provisions for access and mobility.
- Provide a high level of accessibility at the principal front entry for any residential development.

CASEY PLANNING SCHEME

5.0

04/04/2019
G284

5.1

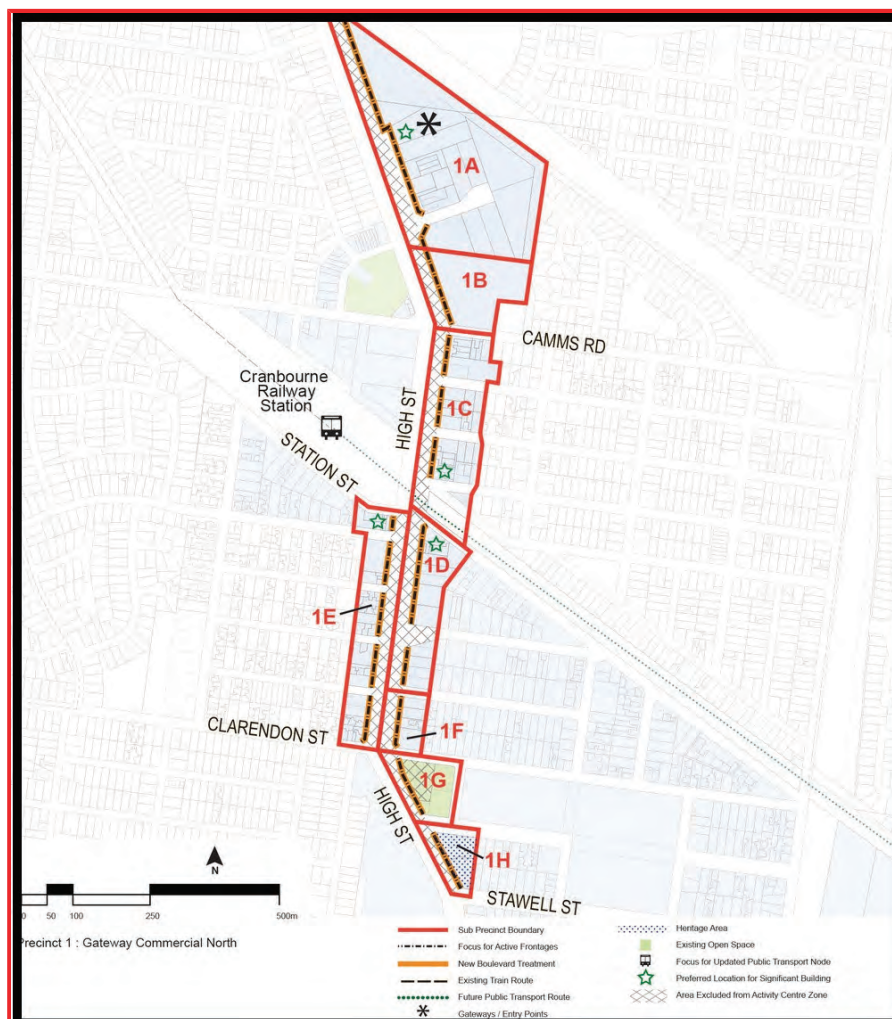
19/03/2015
G457

5.1-1

Precinct-provisions

Precinct 1: Gateway Commercial North

Precinct map



5.1-2

Precinct objectives

- To improve the visual quality of the northern gateway to Cranbourne and encourage development that will have a positive impact on the area.
- To encourage diverse employment and business opportunities that can capitalise on highway exposure and principally serve the local community.
- To intensify development and bring built form closer to South Gippsland Highway and High Street.
- To provide the majority of car parking at the rear of buildings.
- To encourage the development of an appropriate gateway building in the north-eastern corner of the precinct and landmark significant building/s in the area adjacent to the railway crossing.

CASEY PLANNING SCHEME

5.1-3

Precinct requirements

Sub-precinct	Preferred height (excluding basement)	Preferred Setbacks
1A	14 metres (significant building up to 21 metres)	9 metres to east boundary No more than 21 metres to South Gippsland Highway
1B	14 metres	0 metres to South Gippsland Highway 0 metres to south boundary (Gamms Road) 6 metres to east boundary
1C	14 metres	0 metres to west boundary 6 metres to east boundary
1D	9 metres (significant building up to 14 metres)	0 metres to west boundary
1E	14 metres	0 metres to east boundary 6 metres to west boundary
1F	14 metres	0 metres to west boundary 6 metres to east boundary
1G	None specified	None specified
1H	None specified (Historic site)	None specified

5.1-4

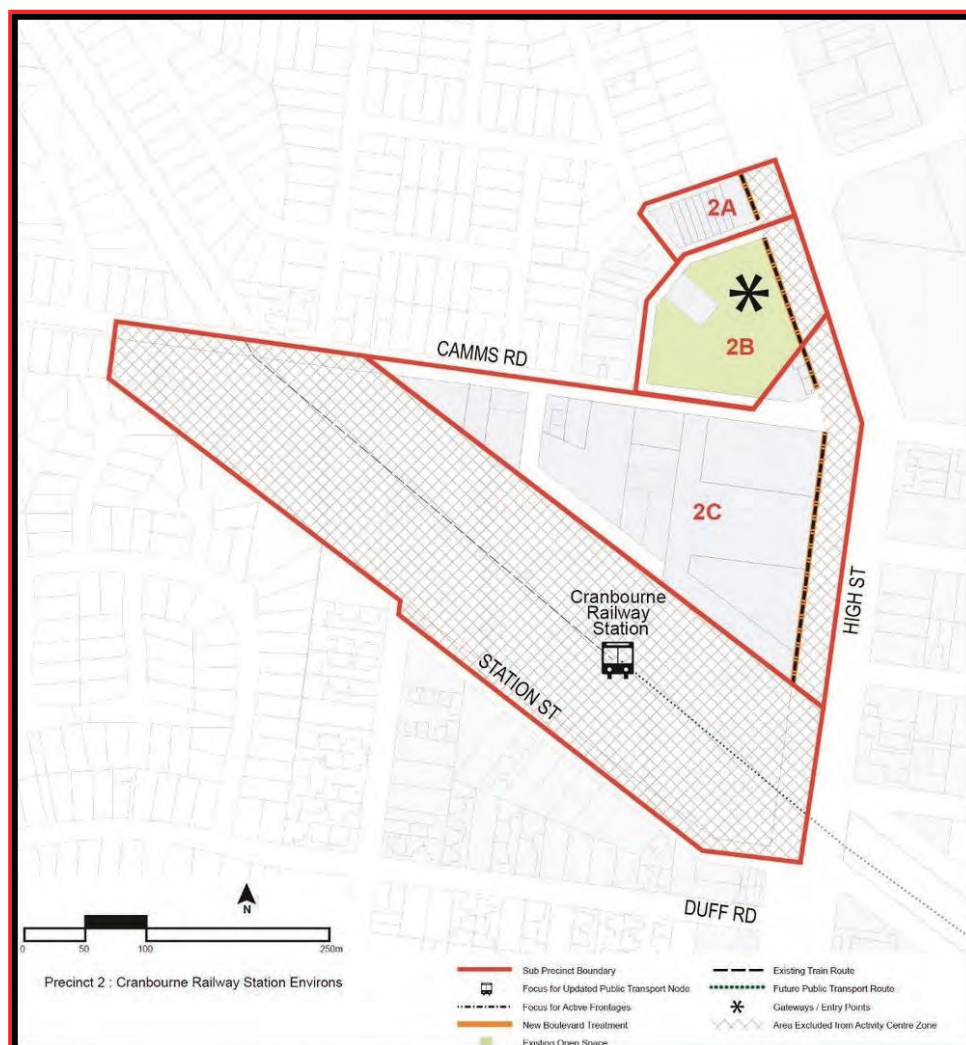
Precinct guidelines

- New development in Sub-precincts 1C, 1D, 1E and 1F fronting South Gippsland Highway and High Street should provide active and accessible frontages and pedestrian canopies above the footpath.
- In Sub-precinct 1H, new development should include setbacks to High Street to retain the views of the heritage church building and allow for visual permeability through Ray Perry Park.
- Development should not negatively impact Ray Perry Park which provides a community focal point.
- Development abutting residential areas should include a suitable landscaped buffer along the interface boundary to prevent overlooking or overshadowing.
- Solid fencing is not permitted and any security fencing must be attenuated with landscaping.
- Development should provide for appropriate setbacks and a transition in scale and height to complement the adjoining residential areas to the east and west.
- Development of significant buildings should be directed to those corner sites immediately adjacent to the railway crossing in Sub-precincts 1C, 1D and 1E.
- On-site car parking should be provided to the rear or side of buildings.
- In Sub-precincts 1B and 1C, new development should consist of commercial activity at the ground level with a minimum 3.8 metres in height and residential on the upper levels.

CASEY PLANNING SCHEME

5.1-5 Any other requirements

None specified.

5.2 Precinct 2: Cranbourne Railway Station Environs19/03/2015
G457**5.2-1 Precinct map****5.2-2 Precinct objectives**

- To ensure development contributes positively to the amenity of the public and private realm and presents an appealing entry into the town centre from the northern gateway.
- To encourage an appropriate mix of residential, retail and commercial uses.
- To encourage increased residential density and multi-level development that optimises the use of the Cranbourne Railway Station and public transport facilities.
- To encourage the consolidation of sites to facilitate a broader range of medium and higher density developments.

CASEY PLANNING SCHEME

- To encourage diverse employment and business opportunities that can capitalise on the High Street exposure to serve the local community.
- To encourage a range of smaller format commercial uses at ground floor level with accommodation above.

5.2-3

Precinct requirements

Sub-precinct	Preferred height (excluding basement)	Preferred setbacks
2A	11 metres	6 metres to north boundary
2B	None specified	None specified
2C	11 metres west of Ingamells Street 15 metres east of Ingamells Street 24 metres Significant building	0 metres to east boundary (High Street)

5.2-4

Precinct guidelines

- Provide higher scale buildings at the eastern end of the precinct towards High Street and adjacent to the Cranbourne Railway Station.
- Built form should achieve a general stepping down of the buildings towards the adjacent residential areas.
- New residential development should incorporate appropriate acoustic treatments responding to the railway environment to minimise adverse amenity impacts.
- Development in Sub-precincts 2A, that is located adjacent to an existing residential development should be setback from side boundaries to allow adequate separation to achieve privacy of habitable rooms and private open space, solar access and landscaping.

5.2-5

Any other requirements

None specified.

CASEY PLANNING SCHEME

5.3
19/03/2015
G457
5.3-4

Precinct 3: Employment and Services
Precinct map



5.3-2 Precinct objectives

- To encourage business and employment opportunities ranging from small to medium-sized industry and local service businesses.
- To create and promote attractive streetscapes with landscaped interfaces at the property frontage of new development.

CASEY PLANNING SCHEME

5.3-3 Precinct requirements

	Preferred height (excluding basement)	Preferred setbacks
	14 metres	3 metres to street boundary 6 metres to adjoining residential boundary

5.3-4 Precinct guidelines

- Buildings should be setback from the street boundary with a 3-metre-wide landscaping strip along the street frontage to enable tree planting.
- Solid front fencing is discouraged and the visual effect of any security fencing should be attenuated with landscaping.
- Redevelopment of industrial uses that interface with existing residential development should incorporate additional screening along the street frontage and common boundaries, comprising mainly landscaping and acoustic treatments.
- Improve the interface with residential development through the use of landscaping and built form.
- Service structures, such as meter boxes, plant and equipment, should be set back from the street boundary and suitably screened with landscaping. Roof plant and equipment should be appropriately screened.
- Ensure new development includes acoustic mitigation for nearby residential development.

5.3-5 Any other requirements

None specified.

CASEY PLANNING SCHEME

5.4

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G157

5.4-1

Precinct 4: Retail Core West

Precinct map



5.4-2

Precinct objectives

- To allow for the expansion of the existing retail core providing more comprehensive retail and commercial uses to improve the viability and function of the Town Centre as a regional retail facility.
- To support and improve the connection and interface with High Street.
- To encourage improvement of rear façades and pedestrian connectivity from the residential area to the west.
- To resolve access and parking requirements.
- To support the establishment of retail anchors and speciality shops on the Council-owned car park in Sladen Street.

CASEY PLANNING SCHEME

- To provide a mix of uses to facilitate extended hours of activity in the Town Centre and additional services available to the community.
- To encourage a range of commercial uses at lower levels with accommodation above.
- To encourage active uses to be developed along the edges Greg Clydesdale Square.
- To provide pedestrian and visual links between Greg Clydesdale Square and the proposed village square in Bakewell Street.
- To reinforce a north-south pedestrian connection from Cranbourne Park Shopping Centre to the Council car parks.

5.4-3

Precinct requirements

Sub-precinct	Preferred podium height (excluding basement)	Preferred overall height	Preferred podium setbacks	Preferred setbacks above podium
4A	12 metres	20 metres	0 metres to east boundary (High Street) 6 metres to west boundary	6 metres above 2-storey podium to High Street
4B	12 metres	20 metres on High Street	0 metres to east boundary (High Street) 6 metres to west boundary	6 metres above 2-storey podium to High Street
4C	12 metres	20 metres	None specified	6 metres above 2-storey podium to High Street
4D	12 metres	20 metres	0 metres to Sladen Street	6 metres above 2-storey podium

5.4-4

Precinct guidelines

- Any redevelopment of the Cranbourne Park Shopping Centre or Council owned car parks over 1000 square metres should include streetscape improvements and activation of the existing building treatments to High Street and to the west.
- Development must include glazed surfaces along façades fronting streets.
- Significant buildings are to be included in any redevelopment proposal fronting Sladen Street or High Street or the northern frontages of the Retail Core West precinct.
- Building design should take advantage of views wherever possible.
- Architecture should include variation in façade treatments, materials, colours and textures to reduce building massing and blank walls.
- Development along High Street that adjoins car parking areas should provide walk-through pedestrian facilities to achieve a pedestrian link to Lamb Street.
- In Sub-precinct 4A, new development should be appropriately elevated to retain the integrity of the retarding basin.

CASEY PLANNING SCHEME

5.4-5 Any other requirements

None specified.

5.5 Precinct 5: Retail and Commercial Core East19/03/2015
G457**5.5-1 Precinct map****5.5-2 Precinct objectives**

- To create a new village destination ('The Avenue') for Cranbourne for the enjoyment of local residents and to activate the eastern side of High Street.
- To investigate the potential to closure of Bakewell Street to through vehicle traffic.
- To establish a new central public space on Bakewell Street opposite and visually connected with Greg Clydesdale Square providing the closure of Bakewell Street and the new public space area represents a net community benefit for the Activity Centre.

CASEY PLANNING SCHEME

- To create a pedestrian-friendly High Street.
- To provide residential and office development on top of retail and commercial uses within the Cranbourne Town Centre.
- To encourage a variety of commercial, shops and food and drink premises at ground level with office and high-density residential above.

5.5-3

Precinct requirements

Sub-precinct	Preferred podium height (excluding basement)	Preferred overall height	Preferred podium setbacks	Preferred setbacks above podium
5A	12.5 metres	17.5 metres	0 metres to High Street 0 metres to Lyall Street. 0 metres to Stawell Street.	6 metres above a 2 storey podium to High Street
5B	12.5 metres	14 metres	3 metres to Stawell Street 6 metres to Godrington Street 3 metres to Lyall Street	None specified
5C	12.5 metres	17.5 metres	0 metres to High Street, 'The Avenue' and Bakewell Street 0 metres to Sladen Street	6 metres above a 2 storey podium to High Street and 'The Avenue'
5D	12.5 metres	14 metres	0 metres to 'The Avenue' 0 metres to Lyall Street 6 metres to Godrington Street 0 metres to Sladen Street	None specified

5.5-4

Precinct guidelines

- Development along 'The Avenue' should incorporate active building frontages and contribute to a pedestrian-friendly streetscape design to create an intimate local street character.
- Development along High Street, 'The Avenue' and Bakewell Street (between High Street and 'The Avenue') should be subject to detailed urban design, incorporating elements such as pedestrian shelters, fine-grain shop fronts, on-street parking, active frontages and a high level of glazing to provide a sense of human scale.
- Translucent elements (including balconies) may encroach up to 3 metres from the edge of any podium buildings.
- Development should recognise heritage elements within the precinct.
- Developments providing pedestrian connections between High Street and 'The Avenue' are encouraged.
- In Sub-precinct 5B or 5D, awnings and porticos should be provided that may extend into the setback area along Godrington Street.

CASEY PLANNING SCHEME

5.5-5

~~Any other requirements~~

~~None specified.~~

CASEY PLANNING SCHEME

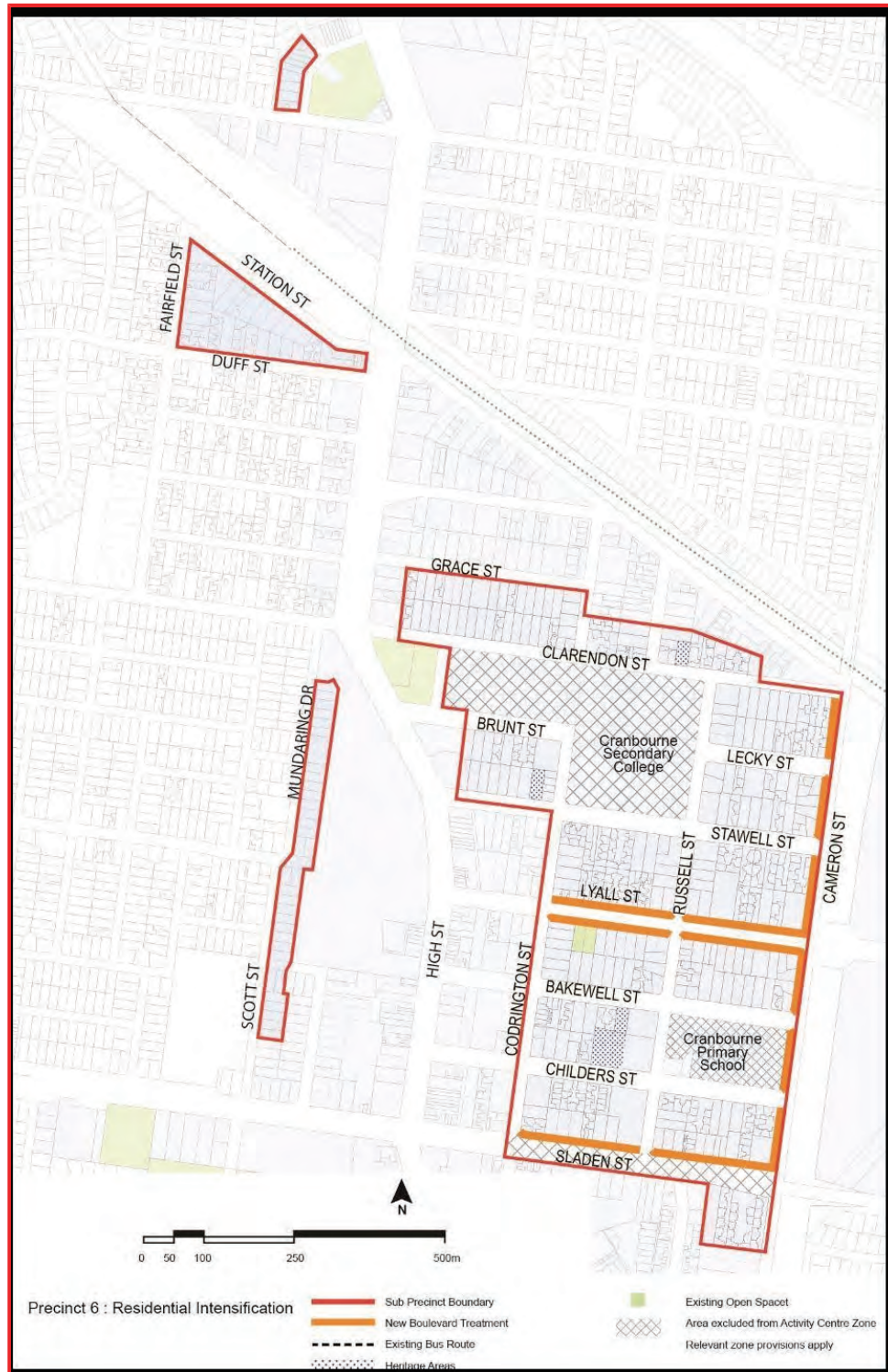
5.6

19/03/2015
G457

5.6-4

Precinct 6: Residential Intensification

Precinct map



CASEY PLANNING SCHEME

5.6-2 Precinct objectives

- To provide diverse housing at increased densities in buildings up to and including four storey buildings.
- To promote a high standard of residential amenity for new development, including optimum solar access and privacy through design.
- To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.
- To encourage the consolidation of sites to facilitate a broader range of medium and higher density residential developments.
- To encourage the development of Lyall Street as a boulevard providing an east-west link between the Retail Core West Precinct, High Street and the Casey Complex.
- To manage the interface with existing commercial uses to mitigate acoustic impacts on new residential development and ensure that new residential development includes appropriate acoustic protection.

5.6-3 Precinct requirements

	Preferred height (excluding basement)	Preferred Setbacks
	13.5 metres	For the construction or extension of one dwelling on a lot standard A3 or 5 metres, whichever is lesser and standard A10 at clause 54. For the construction of two or more dwelling on a lot or a residential building standard B6 or 5 metres, whichever is lesser and standard B17 at clause 55.

5.6-4 Precinct guidelines

- Translucent elements such as balconies should extend within front setbacks to encourage building articulation.
- Consideration will be given to higher built form and residential density for consolidated sites.
- No on-site parking should be provided forward of the front setback area.
- Tree planting should form part of the front setback treatment in all development.
- Tree planting buffers are required at the rear boundary on multi-level apartment developments.
- High solid front fences that prevent passive surveillance of the street should be avoided.
- New residential development of two or more storeys adjoining Precinct 1, 3, 4 or 8 should include acoustic protection from nearby industrial and commercial uses.
- New development along Lyall Street must complement the pedestrian nature of the street through landscaping and by avoiding the use of high front fences.

5.6-5 Any other requirements

None specified.

CASEY PLANNING SCHEME

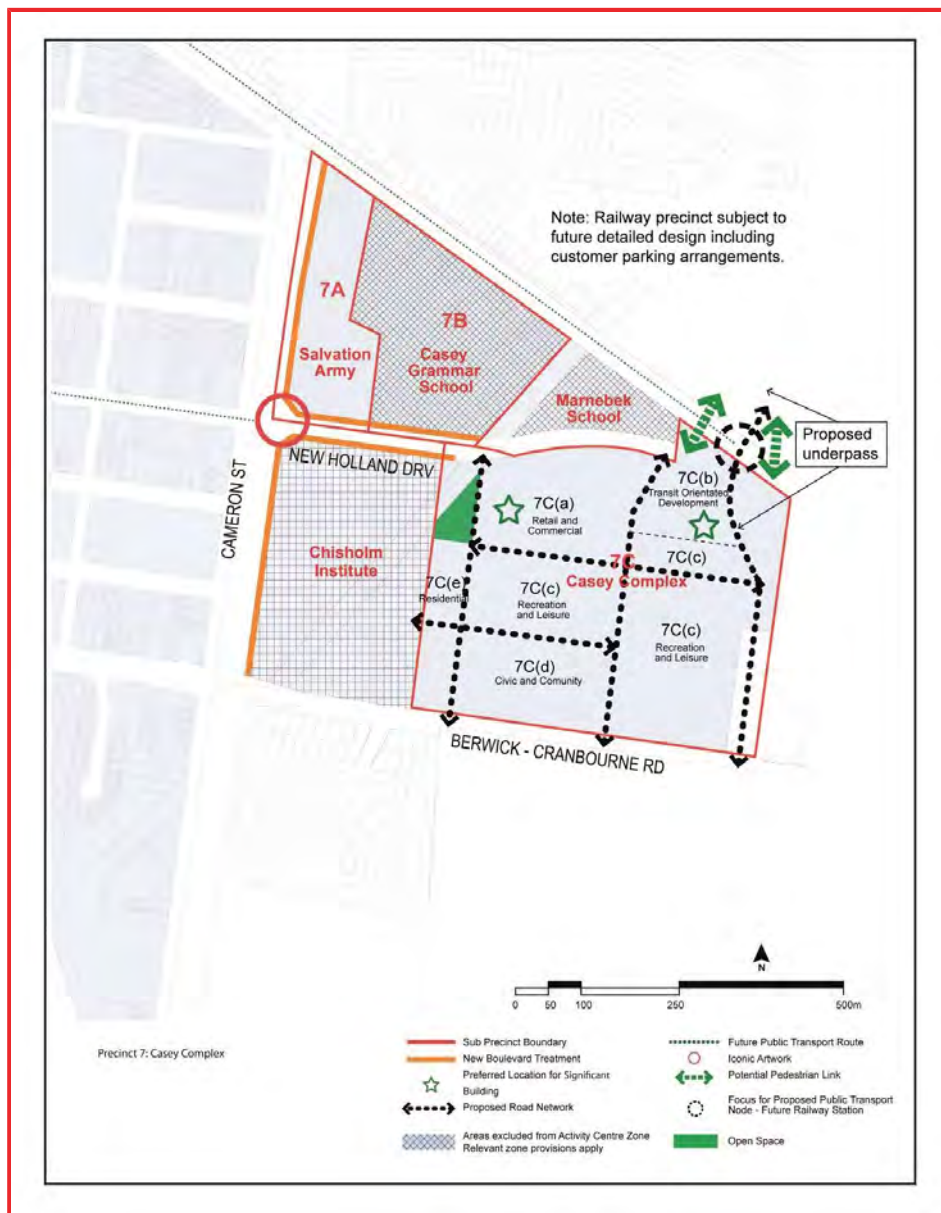
5.7

19/03/2015
G157

Precinct 7: Casey Complex

5.7-4

Precinct map



5.7-2

Precinct objectives

- To promote the establishment of a community hub for the Cranbourne Town Centre that provides for a mix of uses as well as civic and community facilities and services.
- To facilitate and prioritise the delivery of the Cranbourne East Railway Station.
- To promote an integrated transport interchange in the vicinity of the proposed Cranbourne East Railway Station.

CASEY PLANNING SCHEME

- To encourage the provision of Transit Oriented Development (TOD), including a mix of uses to maximise the interface with the future Cranbourne East Railway Station.
- To upgrade the existing sports/recreation facilities and to provide new, modern and international standard sports facilities that cater for regional needs.
- To encourage an appropriate range of retail, entertainment and commercial facilities to serve the needs of residents and the users of the Casey Complex.
- To provide civic facilities and space for community activities/festivals.
- To create a grid transportation network to facilitate ease of pedestrian, cycling and vehicular movement throughout the precinct.

5.7-3

Precinct requirements

Sub-precinct	Preferred height (excluding basement)	Preferred setbacks
7A	None specified	None specified
7B	None specified	None specified
7C(a) Retail and Commercial	10 metres	0 metres setback to east, south and west boundaries.
7C(b) Transit Oriented Development	10 metres	
7C(c) Recreation and Leisure	None specified	
7C(d) Civic and Community	11 metres	
7C(e) Residential	13 metres	

5.7-4

Precinct guidelines

- Development should capitalise on the links with the future Cranbourne East Railway Station.
- Development should link with Lyall Street as the principal access to the Cranbourne Town Centre.
- A road and a pedestrian link should be provided between the precinct and land to the north of the future Cranbourne East Railway Station.
- In Sub-precinct 7C, development must be generally in accordance with an approved Casey Complex Master Plan.
- Development facing the future Cranbourne East Railway Station should incorporate acoustic treatments and buffered setbacks responding to the railway environment.
- Provision should be made for a variety of medium density housing types, including affordable housing.
- Development along key pedestrian routes should provide active frontages and weather protection above the footpath.
- The future road and pedestrian network should be generally in accordance with the north/south and east/west connections shown on the precinct map.

5.7-5

Any other requirements

None specified.

CASEY PLANNING SCHEME

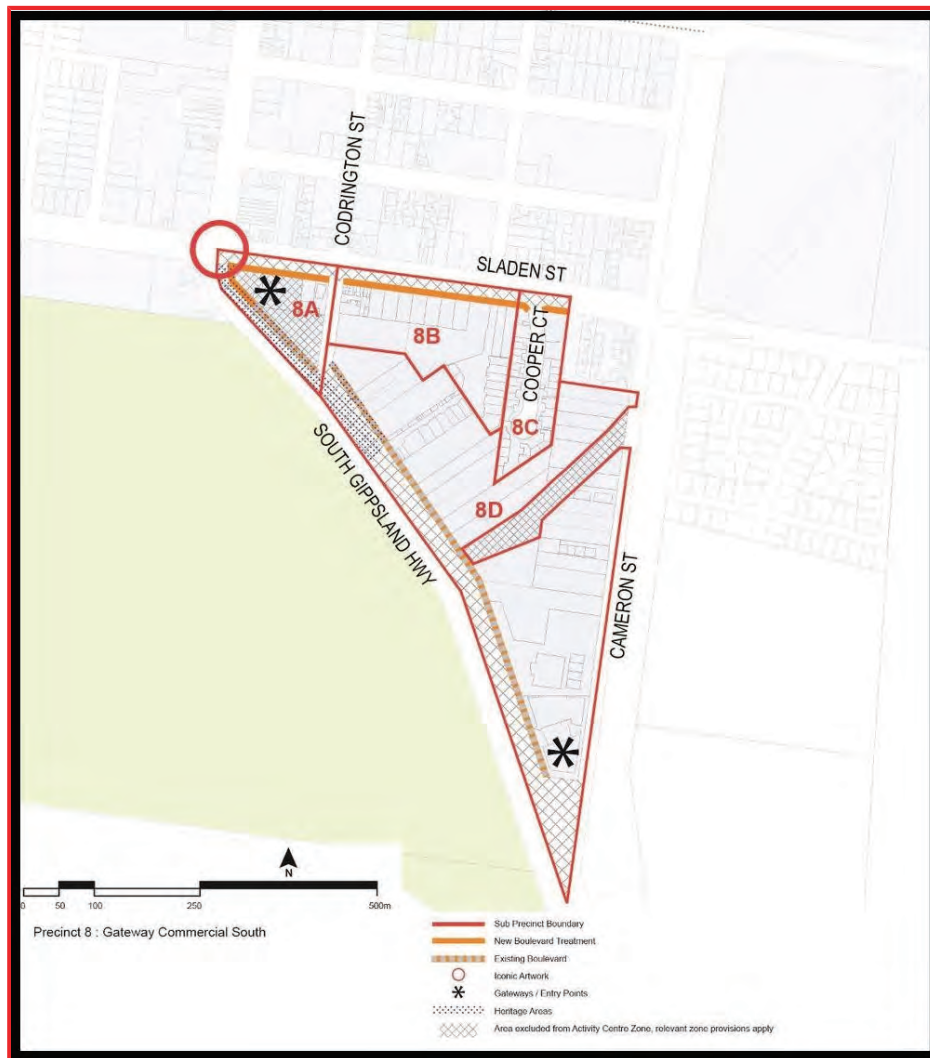
5.8

04/04/2019
G284

Precinct 8: Gateway Commercial South

5.8-1

Precinct map



5.8-2

Precinct objectives

- To provide an attractive southern gateway to the Cranbourne Town Centre.
- To build-upon established community services and facilities.
- To encourage continued business and employment opportunities ranging from small to medium-sized industry and local service businesses.
- To provide attractive streetscapes and improved amenity within the precinct incorporating elements of the Avenue of Honour and Royal Botanic Gardens Cranbourne.

CASEY PLANNING SCHEME

5.8-3

Precinct requirements

Sub-precinct	Preferred height (excluding basement)	Preferred setbacks
8A	12 metres (Significant buildings at designated Gateway/ Entry points may be higher)	None specified
8B	12 metres	0 metres to north boundary (Sladen Street)
8C	11 metres	3 metres to east boundary adjoining residential area
8D	12 metres (Significant buildings at designated Gateway/ Entry points may be higher)	No more than 21 metres to South Gippsland Highway and Cameron Street 6 metres to adjoining residential boundary

5.8-4

Precinct guidelines

- In the case of large buildings, promote variation in the building form such as recessed or projecting architectural and design elements.
- Promote variation in architectural or structural modules, materials, details, surface colour and texture to break up large building forms and the visual bulk of large wall surfaces.
- Development abutting residential areas should include a suitable landscaped buffer along the interface boundary.
- Existing street trees should be retained as the dominant element at gateway locations.
- Flexible car parking layouts are required to be linked across site boundaries and should be located generally to the rear and side of buildings.
- Development along Cameron Street and Sladen Street should incorporate active façades.
- Development should incorporate views towards the Cranbourne Racecourse and Training Complex and the Royal Botanic Gardens Cranbourne.
- In Sub-precincts 8C and 8D, ensure new development includes acoustic protection for nearby residential development.
- For Sub-precinct 8B, encourage high amenity office/commercial development fronting Sladen Street.

In Sub-precinct 8D:

- Encourage continued business and employment opportunities from small to medium-sized industry and local service businesses.
- Encourage the consolidation of sites to create efficient development parcels and reduce the number and frequency of access lanes.
- Encourage a significant public artwork on the gateway site on the south-east corner of Sladen Street and the South Gippsland Highway.
- No retail uses aside from restricted retail premises will be permitted in the area.

5.8-5

Any other requirements

None specified.

CASEY PLANNING SCHEME

5.9

19/03/2015
G157**Precinct 9: Cranbourne Racecourse, Tourism & Entertainment Precinct:**

5.9-4

Precinct map

5.9-2

Precinct objectives

- To build upon the established civic uses and community services based around the original Shire of Cranbourne offices.
- To investigate and facilitate opportunities for tourist accommodation and related activities to serve nearby Cranbourne businesses, the Cranbourne Racecourse and Training Complex and the Royal Botanic Gardens Cranbourne.
- To ensure that interim redevelopment does not compromise the future potential of the precinct as the principal tourism component of Cranbourne.
- To improve the connection between the Cranbourne Racecourse and Training Complex and the Cranbourne Town Centre.

CASEY PLANNING SCHEME

- To provide an attractive entrance to the Cranbourne Racecourse and Training Complex.
- To reinforce the identity of the Cranbourne Racecourse and Training Complex as part of Cranbourne.
- To redevelop the old Council Depot to meet ongoing community needs.
- To integrate the Royal Botanic Gardens Cranbourne into the Cranbourne Town Centre.

5.9-3

Precinct requirements

	Preferred height (excluding basement)	Preferred setbacks
	12 metres	3 metres to adjoining residential boundary

5.9-4

Precinct guidelines

- Development should recognise heritage elements within the precinct.
- New development east of Grant Street should not block views of the original Shire of Cranbourne offices from High Street and Sladen Street to enhance the heritage significance of the building.
- Consideration should be given to a higher built form to accommodate a significant building at the corner of Sladen Street and Grant Street.
- New development should take advantage of views towards the Cranbourne Racecourse.

5.9-5

Any other requirements

None specified.

6.0

04/04/2019
G204

Application requirements

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban context report which demonstrates how the proposal provides an appropriate transition to adjoining land.
- A traffic and car parking assessment that includes existing traffic conditions, parking allocation, likely traffic generation and distribution, impact of generated traffic on the existing road network, parking generation rates and traffic management recommendations.
- For residential development in Precinct 6 on land adjoining Precincts 1, 3, 4 or 8, an acoustic report by a suitably qualified consultant which demonstrates how the proposal includes appropriate noise attenuation measures to reasonably protect the amenity of future residents from nearby commercial or industrial uses.
- An application for a permit on publicly owned land by a person other than the relevant public land manager must be accompanied by the written consent of the public land manager, indicating that the public land manager consents generally or conditionally to the application for permit being made and to the proposed use or development.

7.0

11/06/2020
G265case

Notice and review

An application to:

- Construct a building or construct or carry out works that exceed the preferred height or setback requirements contained within Clause 5 of this schedule

CASEY PLANNING SCHEME

- In Precinct 4, construct a building or construct or carry out works within 30 metres of land (not a road) which is in a residential zone or Commercial 1 Zone, land used for a hospital, a primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, a primary school or a secondary school
- In Precinct 6, use land or construct a building or construct or carry out works is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

8.004/04/2019
6264**Decision guidelines**

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

Use

- Whether the proposal provides for an appropriate scale of development in order to accommodate the mix and intensity of uses envisaged for each precinct.
- Whether an application for a night club, hotel or tavern ensures that there is no unreasonable amenity impact on the surrounding neighbourhood.

Design and built form

Whether the proposed development:

- Is an under-utilisation of the lot.
- Creates a strong visual interest by providing building types based on innovative and contemporary architecture, urban design and ecologically sustainable development principles.
- Provides overhead weather protection adjoining key pedestrian footpaths and main boulevards.

Non-residential use and development in Precinct 6

- Whether the proposed use or development is compatible with nearby residential uses.
- Whether the proposed use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The proposed landscaping.
- The provision of car and bicycle parking and associated accessways.
- Any proposed loading and refuse collection facilities.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

Subdivision

Whether the subdivision:

- Is associated with a development proposal that supports the objectives promoted by this schedule.

Access

Whether the proposed development:

- Integrates car parking requirements into the design of buildings and landform by encouraging the use of undercroft or basement parking and minimises the use of open lot/half basement/ground floor car parks at the street frontage.
- Provides vehicular access to buildings fronting key boulevards off side streets or via rear access.

CASEY PLANNING SCHEME

- Limits the number of vehicle crossings to each development.

9.004/04/2019
G204**Signs**

Sign requirements are at Clause 52.05. All land located within Precinct 6 is in Category 3. All other land is in Category 1.

40.004/04/2019
G204**Other provisions of the scheme**

None specified.

41.004/04/2019
G204**Background documents**

Cranbourne Town Centre Plan (City of Casey, 2017)

Cranbourne Town Centre Urban Design Framework (City of Casey, 2011)

Casey Complex Structure Plan (City of Casey, 2011)

CASEY PLANNING SCHEME

Proposed C275case

SCHEDULE 1 TO CLAUSE 37.08 ACTIVITY CENTRE ZONE

Shown on the planning scheme map as ACZ1.

CRANBOURNE MAJOR ACTIVITY CENTRE**1.0****Cranbourne Major Activity Centre Framework Plan**

Proposed C275case



CASEY PLANNING SCHEME

2.0

Proposed C275case

Land use and development objectives to be achieved**Use**

- To encourage uses which support the Cranbourne Major Activity Centre to become a more active, attractive and safe place for the community to live, work and socialise.
- To promote land use which is conducive to high levels of activity through the day and night in the non-residential precincts of the activity centre.
- To recognise the importance the Cranbourne Major Activity Centre plays in providing community services.

Built form

- To facilitate high quality building design and ensure development improves the image of the Cranbourne Major Activity Centre, including by ensuring building materials are attractive, durable and easy to maintain.
- To minimise the impact of non-residential development adjoining residential areas by including acoustic protection and landscape buffers
- To encourage finer grain commercial uses at ground level along street frontages.
- To avoid large freestanding signs and signs becoming a dominant feature in the streetscape by ensuring they are well-designed and integrated into the built form where possible.
- To avoid high and visually impermeable fencing along streets, laneways and public areas and where this cannot be avoided ensure fencing is attenuated with landscaping.
- To encourage development of land adjoining gateways and secondary gateway nodes that provides a sense of arrival, acts as a focal point and positively contributes to creating a contemporary character and improving the image of the Cranbourne Major Activity Centre.
- To avoid the underdevelopment of land which would limit its future development potential.

Access and movement

- To create a vibrant activity centre which is easy, comfortable and safe to get around for people of all ages and abilities.
- To prioritise and support sustainable transport modes to assist in providing a diversity of transport choices to and within the Cranbourne Major Activity Centre.
- To ensure that vehicle access, loading and parking is not a dominant feature of streetscapes.
- To reinforce east-west connections within the centre to increase priority to active transport modes and particularly accessibility to the residential area to the west.
- To reinforce Lyall Street as the primary east-west active and public transport link between the mixed-use commercial core and the Casey Complex and surrounds.
- To ensure the redevelopment of large sites improves accessibility by including pedestrian accessways.

Culture and heritage

- To minimise the impact of development within or adjoining areas of heritage significance through site-responsive design which retains view of the heritage site from adjoining public areas.

Environment, landscape and open space

- To encourage high quality landscape design.
- To ensure environmentally sustainable development principles and features are incorporated into development to reduce energy, water and waste impacts and manage stormwater runoff.

CASEY PLANNING SCHEME

- To create comfortable microclimates which improve the pedestrian environment by shading footpaths with awnings and tree canopy cover and incorporating vegetation into building facades.
- To create buildings which maximise natural light and ventilation and require minimal heating and cooling.
- To encourage green infrastructure such as water re-use, tree planting, vegetation incorporated into facade design and water-sensitive urban design.
- To enhance the landscape character of the Cranbourne Major Activity Centre by drawing on surrounding features such as the Cranbourne Gardens, Avenue of Honour, Cranbourne Racecourse and Recreation Reserve, boulevards and wide tree-lined streets and incorporate this into the design of public and private open space.
- To encourage the retention of existing mature vegetation.

3.0

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Proposed C275case

Table of uses

Section 1 - Permit not required

Use	Condition
Accommodation (other than Camping and caravan park, Corrective institution, Dependent person's unit, Group accommodation, Host farm and Residential building)	Must be in Precinct 1, 3 or 4. In Precinct 1 or 4 any frontage at ground floor level must not exceed 2 metres.
Cinema	Must be in Precinct 1 or 2.
Cinema-based entertainment facility	In Precinct 2, the site must have access to, or adjoin, a road in a Road Zone.
Exhibition centre	Must be in Precinct 1 or 4.
Food and drink premises	Must be in Precinct 1, 2 or 4. In Precinct 2 or 4 the leasable floor area must not exceed 100 square metres.
Industry (other than Materials recycling, Refuse disposal, Research and development centre, Rural industry, Service industry and Transfer station)	Must be in Precinct 2. Must not be a purpose listed in the table to Clause 53.10 except boiler makers, bakery, small goods production and joinery. Must not be a purpose listed in the table to Clause 53.10 with no threshold specified. The land must be the following distance from land in Precinct 1, 2 or 4, in a residential zone, land used for a hospital, an education centre or a corrective institution or land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution: <ul style="list-style-type: none"> ▪ The threshold distance, for a purpose listed in the table to Clause 53.10. ▪ 30 metres, for a purpose not listed in the table to Clause 53.10. Must not: <ul style="list-style-type: none"> ▪ Exceed a fire protection quantity under the Dangerous Goods (Storage and Handling) Regulations 2012.

CASEY PLANNING SCHEME

Use	Condition
	<ul style="list-style-type: none"> Require a notification under the Occupational Health and Safety Regulations 2017. Require a license under the Dangerous Goods (explosives) Regulations 2011. Require a license under the Dangerous Goods (HCDG) Regulations 2016.
Informal outdoor recreation	
Major sport and recreation facility	Must be in Precinct 4.
Medical centre	<p>In Precinct 1, 2 or 4 any frontage at ground floor level must not exceed 2 metres except where the floor space adjoining the frontage is a customer service area accessible to the public.</p> <p>In Precinct 3 the gross floor area of all buildings must not exceed 250 square metres.</p>
Office (other than medical centre)	<p>Must be in Precinct 1 or 4.</p> <p>Any frontage at ground floor level must not exceed 2 metres, unless the office is a bank, real estate agency, travel agency, or other office where the space adjoining the frontage is a customer service area accessible to the public.</p>
Place of worship	<p>Must be in Precinct 1 or 3.</p> <p>The gross floor area of all buildings must not exceed 250 square metres.</p> <p>In Precinct 3 the site must adjoin, or have access to, a road in a Road Zone.</p>
Postal agency	<p>In Precinct 3:</p> <ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Racing dog husbandry	<p>Must be in Precinct 3.</p> <p>Must be no more than 2 animals.</p>
Research and development centre	<p>Must be in Precinct 1, 2 or 4.</p> <p>Any frontage at ground floor level must not exceed 2 metres except where the floor space adjoining the frontage is a customer service area accessible to the public.</p>
Restricted retail premises	Must be in Sub-precinct 1B or Precinct 2.
Retail premises (other than Food and drink premises, Gambling premises, Motor vehicle, boat or caravan sales, Postal agency and Shop)	
Service industry	Must be in Precinct 2.

CASEY PLANNING SCHEME

Use	Condition
	Must not be a purpose listed in the table to Clause 53.10.
Shop	<p>Must not be in Precinct 3.</p> <p>In Precinct 4 the combined leasable floor area must not exceed 250 square metres.</p> <p>In Precinct 2:</p> <ul style="list-style-type: none"> Must adjoin, or be on the same land as, a supermarket when the use commences. The combined leasable floor area for all shops adjoining or on the same land as the supermarket must not exceed 500 square metres. The site must adjoin, or have access to, a road in a Road Zone.
Supermarket	<p>Must be in Precinct 1.</p> <p>The leasable floor area must not exceed 4000 square metres.</p>
Any use listed in Clause 62.01	Must meet requirements of Clause 62.01.

Section 2 - Permit required

Use	Condition
Adult sex product shop	<p>Must be in Precinct 1 or 2.</p> <p>Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from Precinct 3 or a residential zone, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.</p>
Agriculture (other than Animal production, Animal training, Domestic animal husbandry, Horse husbandry, Racing dog husbandry, Rice growing and Timber production)	
Bar	Must be in Precinct 1, 2 or 4.
Bottle shop	<p>Must be in Precinct 1 or 2.</p> <p>In Precinct 2, the site must adjoin, or have access to, a road in a Road Zone.</p>
Brothel	Must be in Precinct 1 or 2.
Camping and caravan park	<p>Must be in Precinct 1 or 4.</p> <p>Must be in conjunction with a food and drink premises.</p>
Car park	Must be in conjunction with another use in Section 1 or 2.
Car wash	In Precinct 3 or 4 must have access to a road in a Road Zone.

CASEY PLANNING SCHEME

Use	Condition
Caretaker's house	
Cinema	Must be in Precinct 2 or 4.
Cinema-based entertainment facility	
Dependent person's unit	Must be in Precinct 1, 3 or 4.
Domestic animal boarding	Must be in Precinct 1, 2 or 4.
Domestic animal husbandry (other than Domestic animal boarding)	In Precinct 3 must be no more than 5 animals.
Dry cleaning	Must be in Precinct 1, 2 or 4.
Dwelling (other than Caretaker's house)	Must be in Precinct 1, 3 or 4.
Education centre (other than Employment training centre and Tertiary institution)	
Exhibition centre	Must be in Precinct 3.
Extractive industry	Must be in Precinct 1, 2 or 4.
Employment training centre	In Precinct 3:
Food and drink premises (other than Bar and Hotel)	<ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Gambling premises	Must be in Precinct 1.
Hotel	Must be in Precinct 1, 2 or 4.
Industry (other than Materials recycling, Refuse disposal, Research and development centre, Rural industry, Service industry and Transfer station)	<p>Must be in Precinct 1 or 4.</p> <p>Must not be a purpose listed in the table to Clause 53.10.</p>
Landscape gardening supplies	Must be in Precinct 1 or 4.
Leisure and recreation (other than Informal outdoor recreation, Major sports and recreation facility and Motor racing track)	
Mail centre	
Major sport and recreation facility	Must not be in Precinct 1, 2 or 3.
Manufacturing sales	Must be in Precinct 1 and 4.
Market	
Materials recycling	Must be in Precinct 2.
Motor repairs	
Motor vehicle, boat or caravan sales	Must be in Precinct 2 or Sub-precinct 1B.

CASEY PLANNING SCHEME

Use	Condition
Office (other than Medical centre)	<p>In Precinct 3:</p> <ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Place of assembly (other than Cinema, Cinema-based entertainment facility, Exhibition centre and Place of worship)	Must be in Precinct 1, 2 or 4.
Place of worship	In Precinct 2 the site must adjoin, or have access to, a road in a Road Zone.
Racing dog husbandry	In Precinct 3 must be no more than 5 animals.
Residential building (other than Residential hotel)	Must be in Precinct 1, 3 or 4.
Residential hotel	Must be in Precinct 1, 2 or 4.
Research and development centre	<p>In Precinct 3:</p> <ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Restricted retail premises	Must not be in Precinct 3.
Service station	<p>The site must not exceed 3,000 square metres.</p> <p>In Precinct 3:</p> <ul style="list-style-type: none"> The land must adjoin Precinct 1 or 2; or The land must adjoin or have access to, a road in a Road Zone.
Store	In Precinct 3 must be a building, not a dwelling, and used to store equipment, goods, or motor vehicles used in conjunction with the occupation of a resident of a dwelling on the lot.
Supermarket	<p>Must be in Precinct 1, 2 or 4.</p> <p>In Precinct 2 or 4 the leasable floor area must not exceed 1,800 square metres.</p>
Tertiary institution	In Precinct 3:

CASEY PLANNING SCHEME

Use	Condition
	<ul style="list-style-type: none"> The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land. The leasable floor area must not exceed 250 square metres.
Trade supplies	Must not be in Precinct 3.
Transport terminal	Must be in Precinct 1, 2 or 4.
Utility installation (other than Minor utility installation and Telecommunications facility)	
Warehouse (other than Mail centre)	<p>Must be in Precinct 1, 2 or 4.</p> <p>Must not be a purpose listed in the table to Clause 53.10.</p>
Any other use not in Section 1 or 3	

Section 3 – Prohibited

Use
Animal production (other than Grazing animal production)
Animal training
Corrective institution
Horse husbandry
Host farm
Motor racing track
Refuse disposal
Rice growing
Rural industry
Sale yard
Transfer station
Timber production

4.0

---/---/---
Proposed C275case

Centre-wide provisions

4.1

---/---/---
Proposed C275case

Use of land

A permit is not required to use land for the purpose of local government, provided the use is conducted by or on behalf of the public land manager.

4.2

---/---/---
Proposed C275case

Subdivision

None specified.

CASEY PLANNING SCHEME

4.3**Buildings and works**

---/---/---
Proposed C275case

No permit is required to construct a building or construct or carry out works for the following:

- The installation of an automatic teller machine.
- The alteration of an existing building facade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80% of the building facade at ground floor is maintained as an entry or windows with clear glazing and the alteration does not include obstructing views into a premises including through the application of a film, covering or screening which is less than 75% visually transparent on or in close proximity to any clear glazing which forms part of the facade.
- An awning which projects over a road, if it is authorised by the relevant public land manager.
- Buildings and works for the purpose of local government, provided the use is conducted by or on behalf of the public land manager.
- Construct or carry out works normal to a dwelling.
- Construct one dependent person's unit on a lot. This exemption does not apply if there is already one or more dependent person's unit on the lot.
- Construct or extend an outbuilding (other than a garage or car port) associated with a dwelling provided the gross floor area does not exceed 10 square metres, the maximum building height is not greater than 3 metres above natural ground level and the gross floor area of all out buildings on the lot do not exceed 40 square metres.
- Extend one dwelling on a lot more than 300 square metres. This exemption does not apply to:
 - Extend a dwelling more than 40 square metres
 - Extend a dwelling if it is on common property
- Construct or extend a front fence within 3 metres of a street if the fence is associated with two or more dwellings on a lot or a residential building and the fence does not exceed the maximum height specified in Clause 55.06-2.

4.4**Design and development**

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Proposed C275case

The following design and development requirements apply to an application to construct a building or construct or carry out works:

Dwellings and residential buildings

On a lot less than 300 square metres, a development must meet the requirements of Clause 54 if it proposes to:

- Construct or extend one dwelling on a lot.
- Construct or extend a front fence within 3 metres of street if the fence is associated with one dwelling.

A development up to four storey, excluding a basement, must meet the requirements of Clause 55 if it proposes to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.

CASEY PLANNING SCHEME

- Construct or extend a residential building.
- Construct or extend a front fence within 3 metres of a street if:
 - The fence is associated with two or more dwellings on a lot or a residential building.
 - The fence exceeds the maximum fence height specified in Clause 55.06-2.

Buildings and works should avoid the development of south-facing dwellings.

Building height

Buildings and works should not exceed the preferred maximum building height specified in Clause 5 of this schedule. This does not apply to:

- Service equipment including plant rooms, lift overruns, solar collectors and other such equipment provided all of the following requirements are met:
 - The equipment does not exceed the preferred maximum building height by more than 2 metres.
 - No more than 50 percent of the roof area is occupied by the equipment.
 - The equipment is located to avoid additional overshadowing of adjoining properties and public space.
 - The equipment is designed to be concealed within the built form, where practical, or is screened and finished in a non-reflective material and colour to the satisfaction of the responsible authority.
- Where the slope at natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees and the preferred maximum building height is not exceeded by 1 metre.

A permit should not be granted to exceed the preferred maximum building height specified in Clause 5 of this schedule unless one or more of the following applies:

- The permit includes a condition (or conditions) requiring the landowner to enter into an agreement under section 173 of the *Planning and Environment Act 1987* for the provision of affordable housing which must provide the following:
 - The land owner must make a contribution towards affordable housing to the satisfaction of the responsible authority.
 - For the purposes of the agreement "affordable housing" is to have the meaning set out in the *Planning and Environment Act 1987*.
- The additional height supports the centre-wide objectives in Clause 2.0 of this schedule, precinct-objectives in Clause 5 of this schedule and the development is designed to achieve all of the following:
 - Avoid additional overshadowing of public or private open space (beyond that which would be generated by a proposal that complies with the specified height and setback requirements)
 - Floor-to-ceiling heights and floor-plate depths with adaptive re-use capabilities
 - The retention of existing mature vegetation (where applicable)
 - Avoid any adverse amenity impacts on adjoining sites within the Heritage Overlay (where applicable)
- The proposal incorporates an innovative design response that includes exemplary environmentally sustainable development principles, such as:
 - A significant reduction in carbon emissions including for whole of building life
 - Passive heating and cooling

CASEY PLANNING SCHEME

- Maximising daylight through building siting and design
- Retention of existing mature vegetation (where applicable)

Building setbacks

Buildings and works should be setback from the front, side and rear property boundaries as specified in the precinct provisions in Clause 5 of this Schedule.

Minor works such as verandahs, architectural features, balconies, shades, screens and artworks may be constructed within the setback areas specified in the precinct provisions in Clause 5 of this Schedule.

Where no side or rear setback is specified in Clause 5 of this Schedule and Clause 54 or 55 do not apply, buildings and works should be sufficiently setback to reasonably preserve the future development potential and provide for the reasonable amenity of adjoining properties having regard to solar access, daylight access, air circulation and walls on boundaries.

Access and mobility

Development and buildings and works should be designed to provide equitable access for people of all abilities including by providing accessible entries at the principle front entry.

Site layout

Development should be sited to make the most efficient use of land within the activity centre and oriented to maximise passive design opportunities.

Service equipment

Service equipment including plant rooms, lift overruns, solar collectors, metre boxes and other equipment should be concealed within the built form. Where this is not practical it should be screened and finished in a non-reflective material which is not visually obtrusive and allows it to blend within the surrounding built form.

CASEY PLANNING SCHEME

5.0 Precinct provisions

Proposed C275case

5.1 Precinct 1 – Mixed-use commercial core

5.1-1 Precinct map



CASEY PLANNING SCHEME

5.1-2 Precinct Objectives

- Support a diversity of retail and commercial businesses which operate throughout the day and night to locate throughout the precinct with fine grain development along street frontages at ground floor level.
- Support residential development above ground floor retail or commercial uses, particularly near Cranbourne Railway Station, except for sub-precinct 1B.
- Improve pedestrian comfort and accessibility by encouraging active uses at ground floor level, encouraging passive surveillance and having clearly defined paths and entries, particularly for larger sites.
- Create and support an urban and civic heart around Greg Clydesdale Square. Establish complementary secondary plaza spaces around Bakewell Street and Lyall Street to prioritise pedestrians in public spaces and encourage activity.
- Improve connectivity between High Street and the residential area to the west.
- Facilitate placemaking opportunities which encourage temporary activities and events on vacant or underdeveloped public and private land, such as car parking.
- Manage and mitigate acoustic impacts from commercial uses and the Cranbourne Railway Line on new residential development within the precinct.
- Support Greg Clydesdale Square to become a more active, pleasant, safe and attractive community space.

5.1-3 Precinct requirements

Preferred maximum building height	20 metres
Preferred front setback	3 metres including landscaping where a permit is required for an accommodation use at ground level 0 metres for all other development
Preferred street wall height	11 metres
Preferred setback above street wall	3 metres
Preferred side and rear setback	3 metres where a sensitive interface is identified or for land adjoining a residential zone

5.1-4 Precinct guidelines

- Buildings and works of 1,000 square metres or greater at Cranbourne Park Shopping Centre or at an existing at-grade car park should result in a net benefit to the activity centre by improving the appearance of adjoining streetscapes where works interface with a street and may include active transport links and amenities, and facade activation.
- Ensure that redevelopment near Cranbourne Railway Station provides new active transport links to the railway station.
- Encourage development with active uses that would provide passive surveillance adjoining public areas such as parks, squares and plaza spaces.
- Buildings and works at Cranbourne Park Shopping Centre should improve pedestrian accessibility to the residential areas to the west.
- Where no vegetation is able to be provided in a ground floor front setback, incorporate vegetation into the building facade design.

CASEY PLANNING SCHEME

- Ensure buildings are appropriately set back from sensitive interfaces and include a landscape buffer which is at least 1 metre wide and capable of achieving adequate levels of solar access.
- New residential development or an intensification of existing residential development should include appropriate acoustic protection from surrounding non-residential uses.

5.1-5 Any other requirements

None specified.

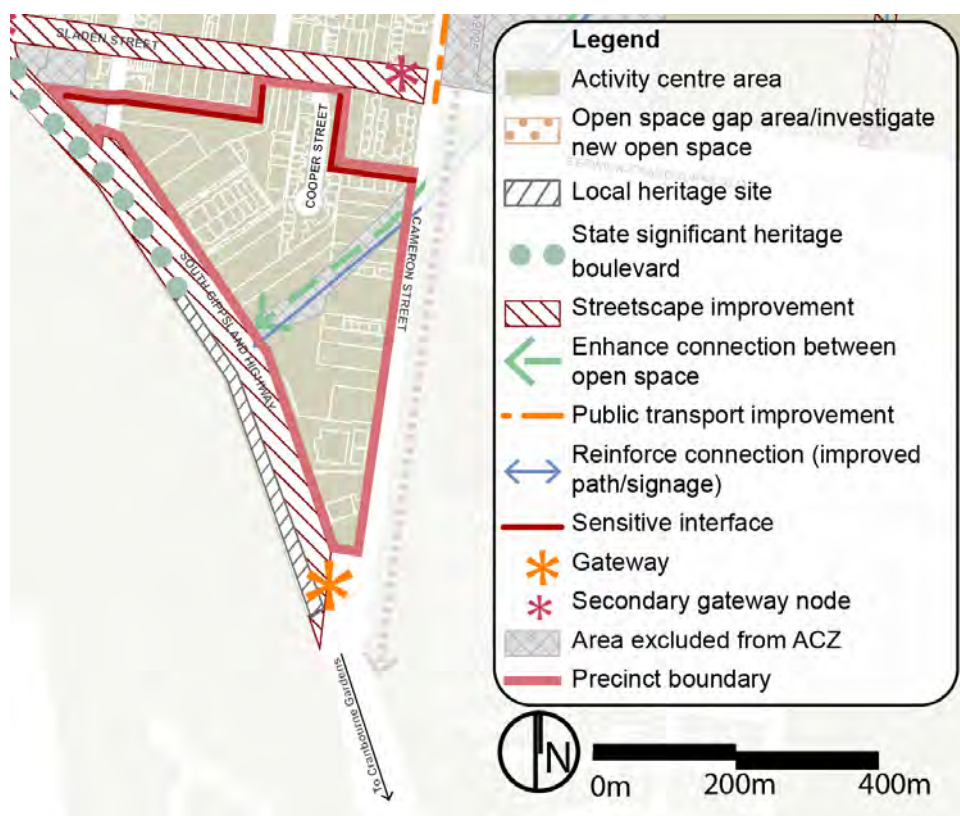
5.2 Precinct 2 - Employment and services

5.2-1 Precinct map

5.2-1 Precinct map



CASEY PLANNING SCHEME



5.2-2 Precinct objectives

- Support a broad-range of non-retail employment uses.
- Support a transition from industrial to more commercial-based industries.
- Improve interfaces with residential and other sensitive land uses and minimise off-site amenity impacts through siting, landscaping, engineering measures and building design.
- Create attractive streetscapes through landscaped front setbacks and attractive building design.

5.2-3 Precinct requirements

Preferred maximum building height	14 metres
Preferred front setback	3 metres including a landscaped area which would allow tree planting
Preferred street wall height	11 metres
Preferred setback above street wall	3 metres
Preferred side and rear setback	3 metres including a landscaped area of at least 1 metre for land adjoining Precinct 3. None specified for all other land.

CASEY PLANNING SCHEME**5.2-3 Precinct guidelines**

- Commercial development should provide a high level of internal amenity including through the provision of common spaces such as courtyards, balconies or rooftops.
- Development associated with an industrial uses which adjoins Precinct 3 or a sensitive interface shown on the precinct map should address potential adverse amenity impacts and include appropriate measures such as landscaping, acoustic treatments, engineering and building siting and design to minimise impacts.
- Encourage office and commercial development along Sladen Street and South Gippsland Highway.
- Ensure buildings are appropriately setback from sensitive interfaces and include a landscape buffer which is at least 1 metre wide and capable of achieving adequate levels of solar access.

5.2-5 Any other requirements

None specified

CASEY PLANNING SCHEME

5.3 Precinct 3 - Residential growth

5.3-1 Precinct map



CASEY PLANNING SCHEME

5.3-2 Precinct objectives

- Encourage a diversity of housing in terms of lot size, number of bedrooms and tenure.
- Limit non-residential uses within the precinct except for where they are near another precinct and address a local need.
- Create landscaped front setbacks which contribute positively to the streetscape and provide a clear delineation between public and private space.
- Avoid garages and parking structures dominating the streetscape by locating them to the side or rear of buildings and ensuring private vehicle access is integrated within the building design.
- Encourage site layout and building massing which preserves the future development potential of adjoining land.

5.3-3 Precinct requirements

Preferred maximum building height	14 metres
Preferred front setback	5 metres
Preferred side and rear setbacks	None specified

Development should provide one medium canopy tree capable of reaching a height of 7 metres at maturity in the front setback.

5.3-4 Precinct guidelines

- Avoid south-facing habitable rooms and where this cannot be avoided, design solutions such as light courts, sky lights and natural ventilation should be implemented to allow for maximum solar access and air circulation.
- Increase housing diversity by seeking to achieve a target of 60 percent one bedroom dwellings and 30 percent two bedroom dwellings in new development.
- Balconies which comprise a dwelling's primary secluded private open space should have a minimum depth of 3 metres and be free of clothes lines, air-conditioning units and other services. Where this cannot be avoided, these items should be screened or concealed within the built form and the area they occupy be excluded from the overall quantum of private open space provided.
- Avoid parking structures within the front setback.
- Tree planting and landscaping in the front, side and rear setbacks is encouraged to soften the appearance of built form.
- Solid front fences and primary ground level secluded private open spaces in the front setback are discouraged.
- New residential development or an intensification of existing residential development adjoining Precinct 1 or 2 should include appropriate acoustic protection from existing non-residential uses.
- Non-residential uses may be included as part of an apartment development where there are minimum on and off-site adverse amenity impacts.
- Discourage stand-alone non-residential uses unless off-site amenity impacts can be minimised.

CASEY PLANNING SCHEME

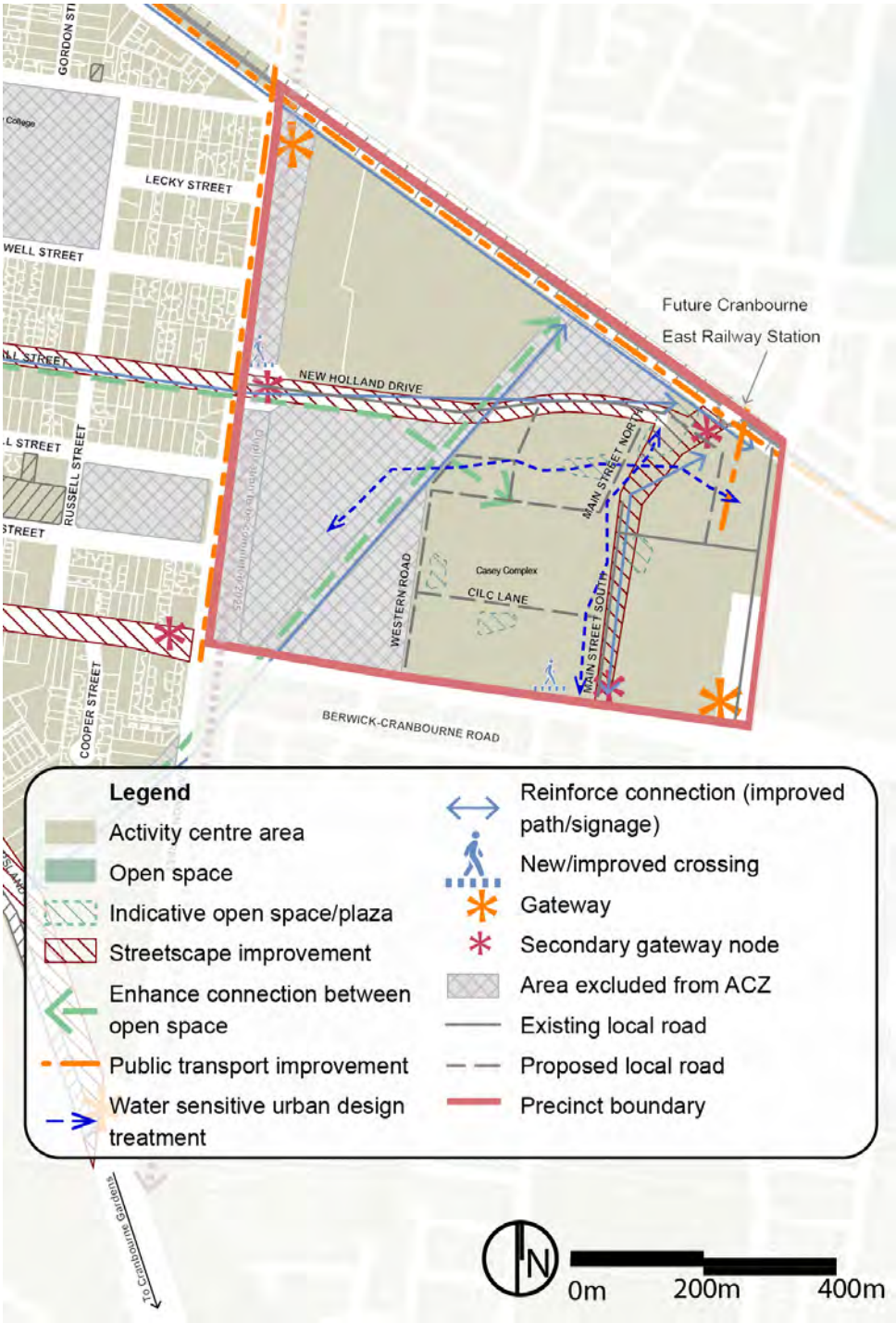
5.3-5 Any other requirements

None specified.

CASEY PLANNING SCHEME

5.4 Precinct 4 - Casey Complex and surrounds

5.4-1 Precinct map



CASEY PLANNING SCHEME

5.4-2 Precinct objectives

- Support mixed-use transit-oriented development, including residential and commercial uses in proximity to the future Cranbourne East Railway Station and adjoining gateways and secondary gateway nodes.
- Ensure the future Cranbourne East Railway Station and grade separation responds appropriately to its surrounds through its siting and designed.
- Create improved connections within and to the Casey Complex.
- Incorporate water-sensitive urban design principles and integrated water management into new development, including landscape design.
- Create public spaces which are enjoyable and functional to navigate through and linger in by appropriately designing building interfaces and locating parking so that built form and parking structures are not visually dominant.
- Ensure community buildings and services are located with good access to public space.
- Support the expansion of community and recreation activities and services in an integrated and coordinated manner.
- Improve the Berwick-Cranbourne Road interface of the Casey Complex through the development of new and expanded buildings.
- Develop the Casey Complex street network with a hierarchy of roads and ensure the sequencing of development provides for efficient interim and ultimate access to and between lots and throughout the precinct.
- Develop a central plaza and Main Street which connects all facilities and activities.

5.4-3 Precinct requirements

Preferred maximum building height	20 metres
Preferred front setback	0 metres
Preferred street wall height	11 metres
Preferred setback above street wall	3 metres
Preferred side and rear setback	None specified

5.4-4 Precinct guidelines

- Development and external alterations and additions to existing buildings fronting streets and public spaces should provide active interfaces, be of high architectural quality and provide weather protection for pedestrians.
- Prioritise pedestrian movement and active transport through the central plaza and Main Street by providing weather protection, wide footpaths, separated cycle lanes and attractive landscaping.
- Locate parking so that it is away from the Main Street and is convenient to access from facilities and the surrounding road network.
- Develop active frontages along Berwick-Cranbourne Road to support the development of the Casey Complex as a transit-oriented precinct.
- Improve legibility and wayfinding through the Casey Complex by establishing a local street network complemented by signage, lighting and designated pedestrian and cycle paths.

CASEY PLANNING SCHEME

5.4-5 Any other requirements

- Subdivision and development should provide for the development of the local road network generally in accordance with the requirements below and to the satisfaction of the responsible authority:
 - The provision of a 19 metre road reserve for CILC Lane comprised of a dual carriageway and on-street parking with tree outstands and a footpath on both sides of the carriageway.
 - The provision of a 34 metre road reserve for Main Street North comprised of a through-traffic lane, bus bay, area for bus shelters, bike hoops and associated transit infrastructure, an off-road cycle lane and a footpath on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
 - The provision of a 29 metre road reserve for Main Street South comprised of a through-traffic lane, on-street parking, a landscaped buffer to protect an off-road cycle lane and a footpath capable of accommodating outdoor dining/seating areas on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
 - The provision of a 30.4 metre road reserve for New Holland Drive East comprised of a dual carriageway and a bus bay, area for bus shelters, bike hoops and associated transit infrastructure, an off-road cycle lane and footpath on either side of the carriageway.
 - The provision of a 30.4 metre road reserve for New Holland Drive West comprised of a through-traffic lane, on-street parking with tree outstands, a landscaped buffer protecting an off-road cycle lane and a footpath on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
 - The provision of a 23.4 metre road reserve for Western Road comprised of a dual carriageway and on-street parking, a landscaped buffer to protect an off-road cycle lane and a footpath on either side of the carriageway.

6.0 Application requirements

Proposed C275case

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority.

Use

An application to use land must specify how it is consistent with and achieves the centre-wide and precinct objectives and guidelines in Clause 5 of this schedule.

Buildings and works

An application to construct a building or construct or carry out works must be accompanied by the following information:

- A statement which explains how a development makes efficient use of land and reasonably preserves the future development potential of adjoining land.
- For the construction of new dwellings in buildings of four storeys or less, an assessment against the relevant provisions of Clause 54 or Clause 55.
- An arboricultural assessment prepared by a suitably qualified professional where it is proposed to remove a tree of 5 metres or greater and a trunk diameter of 0.3 metres or greater at 1.2 metres above ground level. This requirement does not apply to environmental weed species.
- Evidence that the proposal is capable of achieving a 25 percent annual reduction in storm water runoff having regard to the provisions of clause 53.18.

CASEY PLANNING SCHEME

- For residential development in Precinct 1, 3 (where the site adjoins Precinct 1 or 2) and 4 an acoustic assessment prepared by a suitably qualified professional demonstrating how the proposal includes appropriate noise attenuation measures to reasonably protect the amenity of future residents from nearby commercial or industrial uses.
- An application for development up to four storeys should include and an application for development of four or more storeys must include a 3D model which shows:
 - The potential overshadowing impact of the development on the open space and habitable rooms of adjoining properties and within the proposed development and how the design of the development minimises overshadowing impacts and ensures maximum solar access internally for dwellings, to neighbouring properties and public spaces.
 - The potential overshadowing impact of the development on public spaces adjoining the proposal, ensuring that overshadowing of boulevards, heritage sites, parks and other public open space is minimised. Reasonable solar access should also be maintained to the ground floor of buildings opposite in winter, where practical.
- For a staged development, a masterplan which includes future indicative built form and likely uses for the balance of the land.
- For an application which exceeds the preferred maximum building height specified in clause 5 of this schedule, a statement which demonstrates how the proposal addresses the additional building height criteria at clause 4.4 of this schedule.
- For an application which exceeds the preferred maximum building height specified in clause 5 of this schedule because it incorporates an innovative design response that includes exemplary environmentally sustainable development principles, the following, as relevant:
 - A report prepared by a suitably qualified individual which demonstrates that the building achieves a significant reduction in carbon emissions including whole of building life and embodied carbon.
 - A report prepared by a suitably qualified individual which may include plans, sections and construction details and demonstrates that the development has been designed with passive heating and cooling principles in mind and will have a significantly lower reliance on mechanical heating and cooling.
 - A daylight modelling report prepared by a suitably qualified individual that demonstrates how the development is sited and designed to maximise daylight penetration and minimise the need for artificial lighting throughout the day based on lighting requirements of different living and working spaces.
 - An arboricultural assessment and tree management plan or construction management plan, prepared by a suitably qualified individual that demonstrates any mature tree(s) being retained is/are of high value and buildings and works will not unreasonably impact the health of the tree(s).
- For developments of 3-9 dwellings and all non-residential development with a gross floor area between 500 square metres and 1,000 square metres, a Sustainable Design Assessment which includes:
 - A simple assessment of the development, which may use tools such as the Built Environment Sustainability Scorecard (BESS) or Stormwater Treatment Objective-Relative Measure (STORM) or an equivalent assessment approach to the satisfaction of the responsible authority; and
 - The identification of environmentally sustainable development measures proposed which considers the site's opportunities and constraints.
- For the development of 10 or more dwellings and all non-residential development with a gross floor area greater than 1,000 square metres, a Sustainability Management Plan which includes:

CASEY PLANNING SCHEME

- A detailed assessment of building energy management, water sensitive urban design features, construction materials, indoor environment quality, waste management and transport which may use relevant tools such as BESS, STORM, Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or Green Star or an alternative assessment approach to the satisfaction of the responsible authority; and
 - The identification of achievable environmental performance outcomes, having regard to the site's opportunities and constraints, documentation of the means by which the outcomes can be achieved and demonstration that the building has the design potential to achieve the outcomes; and
 - A Green Travel Plan.
- In addition to the Sustainable Management Plan specified above, a development with a gross floor area greater than 5,000 square must demonstrate it has the ability to achieve a 5-star rating or above under a current version of the Green Star rating tool or equivalent.
 - For all mixed use development, the above requirements for a Sustainable Design Assessment or Sustainable Management Plan apply as they relate to each use.

The above Environmentally Sustainable Design application requirements will expire if and when they are superseded by an equivalent application requirement in a Victoria Planning Provision.

7.0

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Proposed C275case

Notice and review

The following applications are not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act:

- An application to construct a building or construct or carry out works that exceed the preferred height or encroach into the preferred setback requirements contained in Clause 5.0 of this schedule and which does not meet the additional building height criteria in Clause 4.4 of this schedule.
- An application to use land or to construct a building or construct or carry out works in Precinct 1 or 2 within 30 metres of Precinct 3, a residential zone, land used for a hospital, a primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.
- An application to use land or construct a building or construct or carry out works in Precinct 3.

8.0

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Proposed C275case

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

Use

- For a staged development, whether a future indicative use for the balance of the land is nominated in a site masterplan or similar.

Subdivision

- Whether an application to subdivide land is accompanied by a suitable development proposal that achieves the centre-wide objectives in Clause 2.0 and the precinct objectives in Clause 5.0 of this schedule.

CASEY PLANNING SCHEME

- Whether the future development potential of the land is unreasonably constrained by the proposed subdivision.
- Whether the proposed subdivision makes a contribution towards creating a permeable pedestrian and cyclist movement network.

Design and built form

- The extent to which a proposal addresses and achieves the centre-wide objectives in Clause 2.0 and the precinct objectives in Clause 5.0 of this schedule.
- The extent to which the proposal makes efficient use of land and allows for the reasonable future development potential of adjoining land.
- Whether an application meets the additional building height criteria at Clause 4.4 of this schedule where it exceeds the preferred maximum building height specified in Clause 5 of this schedule.
- Whether a proposal is designed to enable a change in use over time to support the Cranbourne Major Activity Centre to become more resilient to changes in the social, physical and economic environment.
- Whether a proposal contributes to the Cranbourne Major Activity Centre being a more active and vibrant place.
- Whether a proposal contributes to making the Cranbourne Major Activity Centre more sustainable by including vegetation where possible and incorporating environmentally sustainable design features.

9.0

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Proposed C275case

Signs

Sign requirements are at Clause 52.05. All land located within Precinct 1 and 4 is in Category 1, all land located within Precinct 2 is in Category 2 and all land in Precinct 3 is in Category 3.

10.0

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Proposed C275case

Other provisions of the scheme

None specified.

11.0

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Proposed C275case

Reference documents

Casey Complex Urban Design Framework (City of Casey, 2019)

Cranbourne Major Activity Centre Structure Plan (City of Casey, 2020)

CASEY PLANNING SCHEME

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Proposed C275case

SCHEDULE 2 TO CLAUSE 45.09 PARKING OVERLAY

Shown on the planning scheme map as **PO2**.

CRANBOURNE MAJOR ACTIVITY CENTRE**1.0****Parking objectives to be achieved**

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Proposed C275case

Avoid parking dominating the streetscape by locating it to the side or rear of new development.

Require access to parking areas and loading and service access located within parking areas to be clearly signed to avoid unnecessary vehicle circulation.

Avoid the provision of at-grade car parking, where it is provided, ensure parking layouts are designed so they can be shared across sites.

Avoid reliance on on-street or other publicly accessible parking to address demand generated by a new use or an intensification of an existing use.

Design parking structures (excluding basements or garages integrated within a dwelling or residential building and carports) with adaptive re-use capabilities including a minimum floor to ceiling height of 3 metres.

2.0**Permit requirement**

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Proposed C275case

The requirements of Clause 52.06-3 apply.

3.0**Number of car parking spaces required**

--/--/---
Proposed C275case

The *Rate* in Column B of Table 1 in Clause 52.06-5 applies.

4.0**Application requirements and decision guidelines for permit applications**

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Proposed C275case

None specified.

5.0**Financial contribution requirement**

--/--/---
Proposed C275case

None specified.

6.0**Requirements for a car parking plan**

--/--/---
Proposed C275case

None specified.

7.0**Design standards for car parking**

--/--/---
Proposed C275case

None specified.

8.0**Decision guidelines for car parking plans**

--/--/---
Proposed C275case

None specified.

9.0**Background document**

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Proposed C275case

Cranbourne Major Activity Centre Structure Plan (City of Casey, 2020)

Cranbourne Town Centre Movement and Access Strategy (GTA Consultants, 2017)

CASEY PLANNING SCHEME

25/07/2019
C224case**SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY****1.0**17/01/2019
C221Pt1**Application requirements**

None Specified.

2.0---/---/---
Proposed C275case**Heritage places**

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	"Roads End" 198-238 Beaumont Road, Berwick	Yes	No	Yes	Yes	No	No	No
HO2	Nerre Nerre Warren (Dandenong Police Paddocks) Churchill Park Drive, Endeavour Hills	-	-	-	-	Yes Ref: H2348	Yes	Yes
HO3	"The Springs" 2 Stockyard Court, Narre Warren South	Yes	Yes	Yes	Yes	No	No	No
HO4	"Edrington" 6 Melville Park Drive, Berwick	-	-	-	-	Yes Ref: H653	Yes	No
HO5	"Springfield Homestead" and The Old Cheese Factory 34-66 Homestead Road, Berwick	Yes	Yes	Yes	Yes	No	No	No
HO7	Narre Warren North Primary School	Yes	No	No	Yes	No	No	No

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	15-31 A'Beckett Road, Narre Warren North							
HO8	"Wallerview" 101 A'Beckett Road, Narre Warren North	Yes	No	No	Yes	No	No	No
HO10	Uniting Church 1-13 Main Street, Narre Warren North	Yes	Yes	No	Yes	No	No	No
HO11	Dwelling (former post office and store) 15 Main Street, Narre Warren North	Yes	No	No	Yes	No	No	No
HO13	"Balla Balla" 1300 Baxter-Tooradin Road, Cannons Creek	Yes	No	Yes	No	No	No	No
HO14	"Fisherman's Cottage" 13 Mickle Street, Tooradin	Yes	Yes	Yes	No	No	No	No
HO15	"Tooradin Estate" 300 Lynes Road, Tooradin	Yes	No	Yes	No	No	No	No
HO16	"St Germaines" 95 McCormacks Road, Clyde North	Yes	No	Yes	No	No	Yes	No
HO17	Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former) 156-160 Sladen Street, Cranbourne Statement of Significance: <i>Statement of Significance: Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former), August 2020</i>	Yes	Yes - Cranbourne Shire Offices, Public Hall, Court House and	Yes - Norfolk Island Pines, Flowering Gums and Willow Myrtle trees	No	No	No	No

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			Post Office building (former) only					
HO18	St John the Evangelist Church of England Complex 27-31 Childers Street, Cranbourne Statement of Significance: <i>Statement of Significance: St John the Evangelist Church of England Complex, August 2020</i>	No	No	Yes - Turkey Oak tree and Red Oak tree to west of the church	No	No	No	No
HO20	"Isles View" 40 Bayview Road, Tooradin	Yes	No	Yes	No	No	No	No
HO21	"Quilly Park" (former) Part 55 Craigs Lane, Pearcedale Statement of significance: <i>Statement of Significance: 'Quilly Park', November 2020</i>	No	No	No	No	No	No	No
HO22	Lyndhurst Primary School (former) 310 Dandenong-Hastings Road, Lyndhurst	Yes	Yes	Yes	No	No	No	No
HO24	Rusty Gum Myrtle tree South side of Reserve Street, near corner Gloucester Avenue, Berwick	No	No	Yes	No	No	No	No
HO25	Rusty Gum Myrtle tree Near Clyde Road intersection with Reserve Street, Berwick	No	No	Yes	No	No	No	No

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HO26	Row of Oak trees North side of Princes Highway, Narre Warren	No	No	Yes	No	No	No	No
HO27	Narre Warren North Avenue of Honour Memorial Drive and Main Street, Narre Warren North	No	No	Yes	No	No	No	No
HO28	Cardinia Creek Area Between Inglis Road, Berwick and Chadwick Road, Harkaway	No	No	Yes	No	No	No	No
HO29	Berwick Post Office and Courthouse (former) 102-104 High Street, Berwick and 1 Gloucester Avenue, Berwick	Yes	Yes	No	Yes	No	No	No
HO30	Berwick Inn 1-9 High Street, Berwick	Yes	No	Yes	No	No	No	No
HO32	"Kilfera" 76-80 King Road, Harkaway The heritage place comprises: <i>Mud and timber homestead and land within 10 metres of the perimeter of the dwelling, and Cupressus macrocarpa trees and land beneath and beyond the canopy edge, if within the property boundary, for a distance of five metres from the canopy edge or to the property boundary.</i>	No	No	Yes - Lily Pilly, Holly and the Windrow of Cupressus macrocarpa	No	No	No	No
HO33	"Cloverdale Cottage" 4/324 Hallam North Road, Lysterfield South	No	No	Yes	No	No	No	No

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	The heritage place comprises: <i>Cloverdale Cottage and land within 10 metres of the perimeter of the cottage.</i>							
HO34	"Aranmore" Part 19-21 Aranmore Crescent and part 94W Crawley Road, Narre Warren North	No	No	Yes	No	No	No	No
HO35	The Studio 7-13 Baker Road, Harkaway	No	No	Yes	No	No	No	No
HO36	"Burnbank" 64-72 Beaumont Road, Berwick	No	No	Yes	No	No	No	No
HO37	"Beaumont Farm" 115-129 Beaumont Road, Berwick The heritage place comprises: <i>Beaumont Farm farmhouse and land within 10 metres of the perimeter of the building, the driveway and land within five metres of the driveway.</i>	No	No	Yes	No	No	No	No
HO38	Mary Blackwood House 76-80 Brisbane Street, Berwick	Yes	No	Yes	No	No	No	No
HO39	St Margaret's School 27-47 Gloucester Avenue, Berwick The heritage place comprises the following buildings: ▪ <i>Kippenross;</i>	No	No	Yes	No	No	No	No

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	<ul style="list-style-type: none"> ▪ <i>Campbell House;</i> ▪ <i>the Doll's House;</i> ▪ <i>the Cottage; and,</i> ▪ <i>Gloucester House.</i> <p>The heritage place also comprises:</p> <ul style="list-style-type: none"> ▪ <i>Four English Elm trees (Ulmus procera) west of the Cottage;</i> ▪ <i>Four Golden Elm trees (Ulmus procera "Louis Van Houtte") south of Gloucester House;</i> ▪ <i>One River Red Gum tree (Eucalyptus camaldulensis) east of the Dolls House;</i> ▪ <i>One English Oak tree (Quercus robur) and two River Red Gum trees (Eucalyptus camaldulensis) in the junior playground; and,</i> ▪ <i>One English Oak tree (Quercus robur) and two River Red Gum trees (Eucalyptus camaldulensis) north of the junior tennis courts.</i> 							
HO41	<p>"Melrose"</p> <p>137-163 Harkaway Road, Harkaway</p>	Yes	No	Yes	No	No	No	No
HO42	<p>"Piney Ridge"</p> <p>82 Heatherton Road, Endeavour Hills</p> <p>The heritage places comprises:</p> <p><i>All trees on the property.</i></p>	No	No	Yes	No	No	No	No
HO43	<p>"Westbourne"</p>	No	No	Yes	No	No	No	No

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	315 Hessel Road, Harkaway							
HO44	"Inveresk" 93 High Street and 2 Rutland Road, Berwick	Yes	No	Yes	No	No	No	No
HO46	St Andrew's Uniting Church 105-109 High Street, Berwick	No	Yes	Yes	No	No	No	No
HO47	"Wickham" 37-39 King Road, Harkaway	No	No	Yes	No	No	No	No
HO48	"Kingussie" 42 Langmore Lane, Berwick	No	No	Yes	No	No	No	No
HO49	"Clover Cottage and Garden" 54-60 Manuka Road, Berwick Statement of significance: Statement of Significance: 'Clover Cottage and Garden', 54-60 Manuka Road, Berwick, February 2021	No	No	Yes	No	No	Yes	No
HO50	"Minard" 62-70 Manuka Road, Berwick Statement of significance: Statement of Significance: 'Minard', 62-70 Manuka Road, Berwick, March 2019	No	No	No	No	No	Yes	No
HO51	"Oatlands"	No	No	Yes	No	No	No	No

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	<p>15 The Elms and The Elms road reserve, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The whole lot that contains the heritage homestead, the stables and land within two metres of the perimeter of the stables, the cool store and the old cottage home and land within five metres of the perimeter of the cottage.</i></p> <p><i>The heritage place also consists of the trees that line the present driveway which will form a road reserve off Ryelands Drive when the land is subdivided.</i></p>							
HO52	<p>"Araluen"</p> <p>38S London Crescent, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The heritage park which is depicted as Reserve No. 3 for public open space on PS 649053J in accordance with Planning Permit PlnA01188/11.A.</i></p>	No	No	Yes	No	No	No	No
HO53	<p>"Kilkieran"</p> <p>692 Princes Highway, Berwick</p> <p>The heritage place comprises:</p> <p><i>The Edwardian dwelling and the Magnolia grandiflora tree.</i></p>	No	No	Yes	No	No	No	No
HO54	<p>"Dhuringa"</p> <p>59 Peel Street, 4 Elgin Street, part 6 Elgin Street and part 17 Scanlan Street, Berwick</p>	No	No	Yes	No	No	No	No

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HO55	"Quarry Hills" 31 Quarry Hills Drive, Berwick	No	No	Yes	No	No	No	No
HO56	"Glen Cairn" 21-27 Robinson Road, Narre Warren North	No	No	Yes	No	No	No	No
HO57	"Hillsley" homestead complex and garden Part 90-92 and part 94-104 Robinson Road, Narre Warren North Statement of significance: <i>Statement of Significance: 'Hillsley', November 2020</i>	No	No	Yes	No	No	No	No
HO58	Wilson Botanic Park 668 Princes Highway, Berwick	No	No	Yes	No	No	No	No
HO60	"Forres Farm" 186-190 A'Beckett Road, Narre Warren North The heritage place comprises: <i>Forres Farm farmhouse and land within 10 metres of the perimeter of the house.</i>	No	No	Yes	No	No	No	No
HO61	"Essex Park Homestead" 13 Aquila Crescent and part 14-16 Essex Park Drive, Endeavour Hills	Yes	No	Yes	No	No	No	No
HO62	"The Grattons" 8-10 Bailey Road, Narre Warren North The heritage place comprises:	No	No	Yes	No	No	No	No

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	<i>The Grattons Edwardian brick farmhouse and land within 10 metres of the perimeter of the house.</i>							
HO63	"Glenlea" Part 32-42 Baker Road, Harkaway (Lot 1 TP513415) Statement of significance: <i>Statement of Significance: 'Glenlea', November 2020</i>	No	No	Yes	No	No	No	No
HO65	"Caseldene" 31 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO66	House and garden Part 8, 9 and 10/11-15 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO67	House and garden 64-70 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO68	"Glenfalloch" 88-92 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO69	"Burr Hill" 3 Burr Hill Court, Berwick	No	No	Yes	No	No	No	No
HO70	"Four Oaks" homestead (former) and Oak trees 13 Cardigan Street and part 10 and 12 Aldridge Street, Endeavour Hills	No	No	Yes - Oak trees	No	No	No	No
HO71	Christians' Meeting House (former) 108 High Street, Berwick	Yes	No	No	No	No	No	No

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HO72	Christ Church Vicarage 1 Church Street, Berwick	No	No	Yes	No	No	No	No
HO73	"Clyde Cottage" 11 Clyde Road, Berwick	Yes	No	No	No	No	No	No
HO75	"Doveton Heights" 24 Doveton Avenue, Eumemmerring	No	No	No	No	No	No	No
HO76	House 37-39 Doveton Avenue, Eumemmerring	No	No	Yes	No	No	No	No
HO77	"Alrose" 45 Elgin Street, Berwick	Yes	No	Yes	No	No	No	No
HO78	"Gloucester Cottage" 1, 2 & 3/66 (and Common Property SP:28672P) Gloucester Avenue, Berwick	Yes	No	No	No	No	No	No
HO79	"Glencairn" 159-165 Greaves Road, Narre Warren South	No	No	Yes	No	No	No	No
HO80	"Wandeen Farm" 191-207 Harkaway Road, Harkaway	No	No	Yes	No	No	No	No
HO83	"Greenacres" 178 Hessel Road, Harkaway The heritage place comprises:	No	No	Yes	No	No	No	No

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	<i>The existing bungalow built in the 1930s and land within 50 metres of the perimeter of this building.</i>							
HO84	Mechanics Institute and Free Library 13-15 High Street, Berwick	Yes	No	No	No	No	No	No
HO85	Shops 71-75 High Street, Berwick	Yes	No	No	No	No	No	No
HO87	Rechabite Hall 106 High Street, Berwick	Yes	No	No	No	No	No	No
HO88	House and garden 123 High Street, Berwick	No	No	Yes	No	No	No	No
HO89	St Michaels Church and School 125 High Street, Berwick The heritage place comprises: The 1934 Church only.	No	No	No	No	No	No	No
HO90	"Lumeah" 163 High Street, Berwick	No	No	Yes	No	No	No	No
HO91	Berwick Cemetery 16 Inglis Road, Berwick	No	No	Yes	No	No	No	No
HO92	"Quorn Cottage" 26-30 Inglis Road, Berwick	No	No	Yes	No	No	No	No
HO93	"Grasmere"	No	No	Yes	No	No	No	No

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	27 Inglis Road, Berwick The heritage place comprises: <i>All land and buildings included in a rectangle extending from the south-western corner of the 1950s implement shed, along the western edge of that building for a distance of 65 metres, and along the southern edge of that building for a distance of 85 metres. The heritage place also includes the Golden Oak tree and land beneath and beyond the canopy edge for a distance of five metres from the canopy edge.</i>							
HO94	"Treverbyn" 38 King Road, Harkaway	No	No	Yes	No	No	No	No
HO95	"Kalimna" 13-25 King Road, Harkaway	No	No	Yes	No	No	No	No
HO96	"Harkaway Hall" 56-68 King Road, Harkaway	Yes	No	No	No	No	No	No
HO97	"Nichol House" 63 King Road, Harkaway	No	No	No	No	No	No	No
HO98	Harkaway Primary School 65 King Road, Harkaway The heritage place comprises: <i>A single room brick building built circa. 1876 and land within 10 metres of the perimeter of the building.</i>	Yes	Yes	Yes	No	No	No	No

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HO99	Post Office (former) 68-70 King Road and rear of 6-8 Olive Avenue, Harkaway	No	No	No	No	No	No	No
HO100	"Pine Lodge" 146-168 King Road, Harkaway	No	No	Yes	No	No	No	No
HO101	House and garden (former Doctor's Surgery and Residence) 26-30 Langmore Lane, Berwick	No	No	Yes	No	No	No	No
HO102	"Yarrimbah" 238-334 Narre Warren North Road, Narre Warren North	No	No	Yes	No	No	No	No
HO103	"Myuna Farm" 182 Kidds Road, Doveton	Yes	No	Yes	No	No	No	No
HO104	"Strathard" 6 Oldhome Court, Narre Warren South The heritage place comprises: Strathard 1930 homestead and land within 10 metres of the building to the north, east and west and land within five metres to the south.	No	No	Yes	No	No	No	No
HO105	Christ Church (Anglican) (former) Part 2-6 and 8 Palmerston Street and 9 Church Street, Berwick	Yes	No	No	No	No	No	No
HO106	"Kinross"	No	No	Yes	No	No	No	No

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	41-43 Palmerston Street, Berwick							
HO107	Berwick Primary School (former) 1-11 Peel Street, Berwick The heritage place comprises: <i>The brick building on the south-western corner of the site, which includes the 1869-70 brick classroom and circa 1920 additions. The heritage place also includes the English Oak tree (Quercus robur), two Italian Cypress trees (Cupressus sempervirens) and the Arizona Cypress tree (Cupressus glabra) at the corner of Lyall and Peel Street, and land beneath the canopy edge of these trees for a distance of five metres from the canopy edge.</i>	Yes	No	Yes	No	No	No	No
HO108	House and garden (former "Sunbury") 61 Peel Street, Berwick	No	No	Yes	No	No	No	No
HO109	Hallam's Road Hotel 241-245 Princes Highway, Hallam	Yes	No	No	No	No	No	No
HO110	House and garden (former Treeby) 31-35 Robinson Road, Narre Warren North Incorporated plan: <i>Treeby Cottage Incorporated Plan, August 2019</i>	No	No	Yes	No	No	Yes	No
HO111	"Harkaway Farm" 2-30 Rowallan Avenue, Harkaway	No	No	Yes	No	No	No	No
HO112	"Rowallan Farm"	No	No	Yes	No	No	No	No

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	15-25 Rowallan Avenue, Harkaway							
HO113	"Sweeney House" 8-10 Scanlan Street, Berwick	No	No	No	No	No	No	No
HO115	House and garden (former 60-62 Shrives Road) Part 4 and part 5, 6, 7 and 9 Dargo Close and part Shrives Road reserve, Narre Warren South	No	No	Yes	No	No	No	No
HO116	Mechanics Institute 59 Webb Street, Narre Warren	Yes	Yes	Yes	No	No	No	No
HO117	House and garden (Chadwick Farm) 68-84 Chadwick Road, Harkaway	No	No	Yes	No	No	No	No
HO118	New Ardblair 65 Beaumont Road, Berwick	No	No	No	No	No	No	No
HO119	Robertson's property (former) 456 Belgrave-Hallam Road, Narre Warren North	No	No	No	No	No	No	No
HO120	Harkaway Cemetery and Bell Tower Hessell Road, Harkaway	No	No	Yes	No	No	No	No
HO122	Lysterfield Lake Weir and Reservoir 15 Reservoir Road, Narre Warren North The heritage place comprises: <i>The weir located within Lysterfield Lake Park.</i>	No	No	No	No	No	No	No
HO123	"Wingilla"	No	No	Yes	No	No	No	No

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	1-5 Bluff Road, Cannons Creek							
HO124	House and garden 4 Central Road, Hampton Park	No	No	Yes	No	No	No	No
HO125	Hill Farm 415 Clyde-Fiveways Road, Clyde	No	No	Yes	No	No	Yes	No
HO126	Menenia Park 71 Craig Road, Cranbourne South	No	No	Yes	No	No	No	No
HO127	Valentine Park Moreton Bay Fig tree 171 Waterbush Crescent, Lyndhurst The heritage place comprises: <i>The Moreton Bay Fig tree and land beneath and beyond the canopy edge for a distance of 10 metres from the canopy edge.</i>	No	No	Yes	No	No	No	No
HO128	Eclipse Park Stud 21S Biscay Grove , Lyndhurst The heritage place comprises: Eclipse Park Stud farmhouse and land within 10 metres of its perimeter.	No	No	Yes	No	No	No	No
HO129	“Eyrecourt” 221S Grices Road, Clyde North Statement of significance:	No	Yes	Yes	No	No	Yes	No

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	<i>Statement of Significance: 'Eyrecourt', November 2020</i>							
HO130	Southside Lodge (former "Kurrajong") 465 Pattersons Road, Clyde	No	No	Yes	No	No	Yes	No
HO131	"Maratala" (former "Farnham") 130 Sladen Street, Cranbourne Statement of Significance: <i>Statement of Significance: Maratala</i>	Yes	Yes - entrance hall, living room and dining room	Yes - Camphor Laurel on Sladen Street boundary	No	No	No	No
HO133	"Willandra" 130 Tuckers Road, Clyde	No	No	Yes	No	No	Yes	No
HO134	"Fernlea" 75 Tuckers Road, Clyde	No	No	Yes	No	No	Yes	No
HO135	St Agatha's Catholic Church (former) 150-156 & 158 (part) South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: St Agatha's Catholic Church (former), August 2020</i>	Yes	No	Yes - row of eight Bhutan Cypress trees	No	No	No	No
HO136	St Peter's Tooradin South Gippsland Highway, Tooradin	Yes	Yes	Yes	No	No	No	No
HO137	"Springmont" 1450 Thompsons Road, Cranbourne East	No	No	Yes	No	No	Yes	No

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HO138	Royal Botanic Gardens Cranbourne 1000 Ballarto Road, Cranbourne	No	No	Yes	No	No	No	No
HO139	McMorran's Oak Tree 125 (part) South Gippsland Highway, Cranbourne (opposite Brunt Street) Statement of Significance: <i>Statement of Significance: Mc Morran's Oak Tree, August 2020</i>	No	No	Yes - Oak tree	No	No	No	No
HO140	Gum trees Near 71 Pound Road, Hampton Park	No	No	Yes	No	No	No	No
HO141	Cranbourne Cemetery and monuments 80 Sladen Street, Cranbourne	No	No	Yes	No	No	No	No
HO142	Avenue of Honour South Gippsland Highway, Cranbourne	-	-	-	-	Yes Ref: H2345	Yes	No
HO143	Part of Avenue of Honour (Flowering Gum trees) South Gippsland Highway, Tooradin	No	No	Yes	No	No	No	No
HO144	"Warren Park" 319 Hallam North Road, Lysterfield South	No	No	Yes	No	No	No	No
HO145	Churchill National Park (part of former Police Paddocks) Churchill Park Drive, Lysterfield The heritage place comprises:	No	No	Yes	No	No	No	No

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	<i>The northern boundary dam, aqueduct, siphon, the granite quarry located off Stonemasons Track, the Dandenong Shire Quarry located off Boundary Track and five metres of land surrounding these artifacts.</i>							
HO147	St John's Church of England Vicarage (former) 34 Bakewell Street, Cranbourne Statement of Significance: Statement of Significance: St John's Church of England Vicarage (former), August 2020	No	No	Yes - Peppercorn tree	No	No	No	No
HO148	House 10 Ballarto Road, Clyde	No	No	No	No	No	No	No
HO149	Perry (Male) Cottage 103 Baxter-Tooradin Road, Pearcedale	Yes	No	No	No	No	No	No
HO150	St Peter's Church of England 46 Baxter-Tooradin Road, Pearcedale	No	Yes	No	Yes	No	No	No
HO151	Farmhouse and trees 305 Berwick-Cranbourne Road, Cranbourne The heritage place comprises: <i>The farmhouse and Italian Cypress and all land within the mapped overlay.</i>	No	No	Yes	No	No	Yes	No
HO152	"Tulliallan" 1/805, Berwick-Cranbourne Road, Cranbourne North	No	No	Yes	Yes	No	Yes	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p>The heritage place comprises:</p> <p><i>The circa 1860 cottage and associated gardens, together with the avenue of English Elm trees along the former driveway extending to Berwick-Cranbourne Road</i></p> <p>Incorporated plan: Tulliallan Incorporated Plan, June 2013</p>							
HO153	<p>"Brechin Gardens"</p> <p>Brechin Drive, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>All elements of particular significance, as identified in the Brechin Gardens Incorporated Plan.</i></p> <p>Incorporated plan: Brechin Gardens Incorporated Plan, April 2019</p>	No	No	Yes	No	No	No	No
HO154	<p>House</p> <p>65-67 Brisbane Street, Berwick</p>	No	No	No	No	No	No	No
HO155	<p>Avenue of Honour (Berwick Boys Grammar School)</p> <p>Church Street, part common area 11 Church Street, part 1/11 Church Street, part 4/11 Church Street and part 72-74 Brisbane Street, Berwick</p> <p>The heritage place comprises:</p> <p><i>The memorial plaque and memorial row planting of seven oak trees comprising the Avenue, together with the land covered by each tree's canopy and the land beyond the edge of each canopy for a distance of five metres.</i></p>	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO156	"Anunaka Mansion" 37 Churchill Park Drive, Endeavour Hills The heritage place comprises: <i>The circa 1945 house and land from a distance of metres behind the house to the street frontage and the property's eastern boundary.</i>	No	No	No	No	No	No	No
HO157	Graham family home 119a Clarendon Street, Cranbourne Statement of Significance: <i>Statement of Significance: Graham family home, August 2020</i>	Yes	No	No	No	No	No	No
HO160	House 71 East Road, Pearcedale The heritage place comprises: <i>The 1922 house and land extending to East Road and on other sides for a distance of five metres from the walls of the house.</i>	No	No	No	No	No	No	No
HO161	Tooradin Foreshore Reserve Precinct Foreshore Reserve, Tooradin	No	No	Yes	No	No	No	No
HO162	Fountain Gate Estate Precinct The heritage place comprises: <i>The entry feature to the estate, the estate layout and the houses at 5 Fountain Drive, 7 Fountain Drive, 11 Fountain Drive, 15 Fountain Drive, 7 Green Ridge</i>	No	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Avenue, 7 Hollydene Court, 2 Oakwood Court, 7 Oakwood Court, 2 Pinelands Court, 3 Pinelands Court, 9 Pinelands Court, and 6 and 6A Prospect Hill Road.</i>							
HO163	Hayton Park 2/660 Hall Road, Cranbourne	No	No	No	Yes	No	Yes	No
HO164	Farm complex 272 Hardys Road, Clyde North The heritage place comprises: <i>The inter-war house, associated farm outbuildings, to a distance of five metres around the buildings, and the land between the buildings and the street.</i>	No	No	Yes	No	No	Yes	No
HO165	Avenue of Honour Harkaway Road, Harkaway	No	No	Yes	No	No	No	No
HO166	"Tandderwen" 369 Heatherton Road, Narre Warren North	No	No	Yes	No	No	No	No
HO167	House 191 High Street, Berwick	No	No	Yes	No	No	No	No
HO168	Cranbourne War Memorial Greg Clydesdale Square, 125 (part) South Gippsland Highway, Cranbourne Statement of Significance:	No	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Statement of Significance: Cranbourne War Memorial, August 2020</i>							
HO169	Motor Club Hotel 38-56 South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: Motor Club Hotel</i>	No	No	No	No	No	No	No
HO170	"Wilga" 40 King Road, Harkaway	No	No	Yes	Yes	No	No	No
HO172	Tooradin Railway Station Precinct (former) Off Langtree Road, Tooradin	No	No	Yes	No	No	No	No
HO174	Kernot's house 23 Mickle Street, Tooradin	No	No	No	No	No	No	No
HO176	House 3 Mundaring Drive, Cranbourne	No	No	Yes	No	No	No	No
HO177	Pearcedale Public Hall 45 Pearcedale Road, Pearcedale	No	Yes	Yes	No	No	No	No
HO178	Henry Joseph Moran Reserve Pound Road, Hampton Park	No	No	Yes	No	No	No	No
HO179	House 3-5 Princes Domain Drive, Hallam	No	No	Yes	No	No	No	No
HO180	Pearcedale Methodist Church (former)	No	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	12 Queens Road, Pearcedale							
HO181	Clyde Methodist Church (former) 26 Railway Road, Clyde	No	No	No	No	No	No	No
HO182	Clyde General Store and Post Office Cnr of Railway Road and Oroya Grove, Clyde	No	No	No	No	No	No	No
HO185	Foreshore Pavilions Rutherford Parade, Warneet The heritage place comprises: <i>The two foreshore pavilions, including the buildings and surrounding land to a minimum extent of five metres, together with the land between the pavilions and Rutherford Parade.</i>	Yes	Yes	No	No	No	No	No
HO186	House 15 Rutland Road, Berwick	No	No	No	No	No	No	No
HO188	Hampton Park Primary School 32 Somerville Road, Hampton Park The heritage place comprises: <i>The 1922 school building and surrounding land to a minimum extent of five metres, extending to the frontage of the property.</i>	No	No	Yes	No	No	No	No
HO189	Christ Church of England 61 South Gippsland Highway, Tooradin	No	Yes	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO190	<p>"Stella Maris" (former) Canary Island Palm trees 127-135 South Gippsland Highway, Tooradin</p> <p>The heritage place comprises:</p> <p><i>The three Canary Island Palm trees and associated land extending to the edge of each tree's canopy and beyond for a distance of five metres.</i></p>	No	No	Yes	No	No	No	No
HO191	<p>Farm complex 2645 South Gippsland Highway, Tooradin</p> <p>The heritage place comprises:</p> <p><i>To the extent of the house and interwar outbuildings and sheds and associated land upto the property boundary along the South Gippsland Highway and to a distance of 20 meters from the outer wall of the house on all other sides.</i></p>	No	No	Yes	Yes	No	No	No
HO194	<p>Tooradin Public Hall Tooradin Station Road, Tooradin</p>	No	No	Yes	No	No	No	No
HO195	<p>Former Tooradin State School site and trees 50 Tooradin Station Road, Tooradin</p>	No	No	Yes	No	No	No	No
HO196	<p>Former Narre Warren Primary School 53-55 Webb Street, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The 1920s former school, the mature English Oak at 53 Webb Street and the two mature Elm Trees at 55 Webb Street.</i></p>	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO197	<p>"Arborea"</p> <p>1 Williamson Street, Berwick</p> <p>The heritage place comprises:</p> <p><i>The house and all the land as defined by the title boundaries excluding the rear shed, the spa enclosure and the cat enclosure.</i></p>	No	No	No	No	No	No	No
HO198	<p>High Street Avenue of Honour</p> <p>High Street (Old Princes Highway), Berwick</p> <p>The heritage place comprises:</p> <p><i>All trees comprising the row, together with the land covered by each tree's canopy and the land beyond the edge of each tree for a distance of five metres insofar as the land is wholly contained within the High Street (Old Princes Highway) road reserve.</i></p>	No	No	Yes	No	No	No	No
HO199	<p>Avenue of Honour</p> <p>Wilson and Scanlon Streets, Berwick</p> <p>The heritage place comprises:</p> <p><i>All trees comprising the row, together with the land covered by each tree's canopy and the land beyond the edge of each tree for a distance of five metres, insofar as this area is wholly contained within the Wilson and Scanlon Streets road reserve.</i></p>	No	No	Yes	No	No	No	No
HO200	<p>Fallen tree</p> <p>Road reserve, May Gibbs Crescent, Lynbrook</p>	No	No	Yes	No	No	No	Yes
HO201	<p>Tree stump</p>	No	No	Yes	No	No	No	Yes

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Council reserve, Durack Avenue, Lynbrook							
HO202	Clyde Primary School Oroya Crescent, Clyde	No	No	No	No	No	No	No
HO203	32 Railway Road, Clyde	No	No	No	No	No	No	No
HO204	1755 Ballarto Road, Clyde	No	No	Yes	No	No	Yes	No
HO205	20 Railway Road, Clyde	No	No	No	No	No	No	No
HO206	14 Railway Road, Clyde	No	No	No	No	No	No	No
HO207	2 Railway Road, Clyde	No	No	No	No	No	No	No
HO208	Avenue of Honour (local significance) Road reserve (west side) South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: World War Two Memorial Planting and Plaque Cranbourne, August 2020</i>	No	No	Yes - Turkey Oaks and English Oaks in road reserve only	No	No	No	No
HO209	"The Meadows" 10 Smiths Lane, Clyde North	Yes	No	No	No	No	Yes	No
HO210	"Myer House" 2-106 Soldiers Road, Berwick	No	No	No	No	No	Yes	No

CASEY PLANNING SCHEME

25/07/2019
C224case

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0

17/01/2019
C221Pt1

Application requirements

None Specified.

2.0

Heritage places

12/06/2024
C276case

Proposed C275case The requirements of this overlay apply to both the heritage place and its associated land.



PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	"Roads End" 198-238 Beaumont Road, Berwick	Yes	No	Yes	Yes	No	No	No
HO2	Nerre Nerre Warren (Dandenong Police Paddocks) Churchill Park Drive, Endeavour Hills	-	-	-	-	Yes Ref: H2348	Yes	Yes
HO3	"The Springs" 2 Stockyard Court, Narre Warren South	Yes	Yes	Yes	Yes	No	No	No
HO4	"Edrington" 6 Melville Park Drive, Berwick	-	-	-	-	Yes Ref: H653	Yes	No
HO5	"Springfield Homestead" and The Old Cheese Factory 34-66 Homestead Road, Berwick	Yes	Yes	Yes	Yes	No	No	No
HO7	Narre Warren North Primary School	Yes	No	No	Yes	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	15-31 A'Beckett Road, Narre Warren North							
HO8	"Wallerview" 101 A'Beckett Road, Narre Warren North	Yes	No	No	Yes	No	No	No
HO10	Uniting Church 1-13 Main Street, Narre Warren North	Yes	Yes	No	Yes	No	No	No
HO11	Dwelling (former post office and store) 15 Main Street, Narre Warren North	Yes	No	No	Yes	No	No	No
HO13	"Balla Balla" 1300 Baxter-Tooradin Road, Cannons Creek	Yes	No	Yes	No	No	No	No
HO14	"Fisherman's Cottage" 13 Mickle Street, Tooradin	Yes	Yes	Yes	No	No	No	No
HO15	"Tooradin Estate" 300 Lynes Road, Tooradin	Yes	No	Yes	No	No	No	No
HO16	"St Germain's" 95 McCormacks Road, Clyde North	Yes	No	Yes	No	No	Yes	No
HO17 Interim control Expiry date: 30/06/2022	Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former) 156-160 Sladen Street, Cranbourne Statement of Significance: <i>Statement of Significance: Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former), August 2020</i>	Yes	Yes - Cranbourne Shire Offices, Public Hall, Court House and	Yes - Norfolk Island Pines, Flowering Gums and Willow Myrtle Trees trees	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
			Post Office building (former) only					
HO18 <i>Interim control</i> <i>Expiry date: 30/06/2022</i>	St John the Evangelist Church of England Complex 27-31 Childers Street, Cranbourne Statement of Significance: <i>Statement of Significance: St John the Evangelist Church of England Complex, August 2020</i>	Yes No	Yes No	Yes - Turkey Oak tree and Red Oak tree to west of the church	Yes No	No	No	No
HO20	"Isles View" 40 Bayview Road, Tooradin	Yes	No	Yes	No	No	No	No
HO21	"Quilly Park" (former) Part 55 Craigs Lane, Pearcedale Statement of significance: <i>Statement of Significance: 'Quilly Park', November 2020</i>	No	No	No	No	No	No	No
HO22	Lyndhurst Primary School (former) 310 Dandenong-Hastings Road, Lyndhurst	Yes	Yes	Yes	No	No	No	No
HO24	Rusty Gum Myrtle tree South side of Reserve Street, near corner Gloucester Avenue, Berwick	No	No	Yes	No	No	No	No
HO25	Rusty Gum Myrtle tree Near Clyde Road intersection with Reserve Street, Berwick	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO26	Row of Oak trees North side of Princes Highway, Narre Warren	No	No	Yes	No	No	No	No
HO27	Narre Warren North Avenue of Honour Memorial Drive and Main Street, Narre Warren North	No	No	Yes	No	No	No	No
HO28	Cardinia Creek Area Between Inglis Road, Berwick and Chadwick Road, Harkaway	No	No	Yes	No	No	No	No
HO29	Berwick Post Office and Courthouse (former) 102-104 High Street, Berwick and 1 Gloucester Avenue, Berwick	Yes	Yes	No	Yes	No	No	No
HO30	Berwick Inn 1-9 High Street, Berwick	Yes	No	Yes	No	No	No	No
HO32	"Kilfera" 76-80 King Road, Harkaway The heritage place comprises: <i>Mud and timber homestead and land within 10 metres of the perimeter of the dwelling, and Cupressus macrocarpa trees and land beneath and beyond the canopy edge, if within the property boundary, for a distance of five metres from the canopy edge or to the property boundary.</i>	No	No	Yes - Lily Pilly, Holly and the Windrow of Cupressus macrocarpa	No	No	No	No
HO33	"Cloverdale Cottage" 4/324 Hallam North Road, Lysterfield South	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	The heritage place comprises: <i>Cloverdale Cottage and land within 10 metres of the perimeter of the cottage.</i>							
HO34	"Aranmore" Part 19-21 Aranmore Crescent and part 94W Crawley Road, Narre Warren North	No	No	Yes	No	No	No	No
HO35	The Studio 7-13 Baker Road, Harkaway	No	No	Yes	No	No	No	No
HO36	"Burnbank" 64-72 Beaumont Road, Berwick	No	No	Yes	No	No	No	No
HO37	"Beaumont Farm" 115-129 Beaumont Road, Berwick The heritage place comprises: <i>Beaumont Farm farmhouse and land within 10 metres of the perimeter of the building, the driveway and land within five metres of the driveway.</i>	No	No	Yes	No	No	No	No
HO38	Mary Blackwood House 76-80 Brisbane Street, Berwick	Yes	No	Yes	No	No	No	No
HO39	St Margaret's School 27-47 Gloucester Avenue, Berwick The heritage place comprises the following buildings: ▪ <i>Kippenross;</i>	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<ul style="list-style-type: none"> Campbell House; the Doll's House; the Cottage; and, Gloucester House. <p>The heritage place also comprises:</p> <ul style="list-style-type: none"> Four English Elm trees (<i>Ulmus procera</i>) west of the Cottage; Four Golden Elm trees (<i>Ulmus procera</i> "Louis Van Houtte") south of Gloucester House; One River Red Gum tree (<i>Eucalyptus camaldulensis</i>) east of the Dolls House; One English Oak tree (<i>Quercus robur</i>) and two River Red Gum trees (<i>Eucalyptus camaldulensis</i>) in the junior playground; and, One English Oak tree (<i>Quercus robur</i>) and two River Red Gum trees (<i>Eucalyptus camaldulensis</i>) north of the junior tennis courts. 							
HO41	"Melrose" 137-163 Harkaway Road, Harkaway	Yes	No	Yes	No	No	No	No
HO42	"Piney Ridge" 82 Heatherton Road, Endeavour Hills The heritage places comprises: <i>All trees on the property.</i>	No	No	Yes	No	No	No	No
HO43	"Westbourne"	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	315 Hessel Road, Harkaway							
HO44	"Inveresk" 93 High Street and 2 Rutland Road, Berwick	Yes	No	Yes	No	No	No	No
HO46	St Andrew's Uniting Church 105-109 High Street, Berwick	No	Yes	Yes	No	No	No	No
HO47	"Wickham" 37-39 King Road, Harkaway	No	No	Yes	No	No	No	No
HO48	"Kingussie" 42 Langmore Lane, Berwick	No	No	Yes	No	No	No	No
HO49	"Clover Cottage and Garden" 54-60 Manuka Road, Berwick Statement of significance: Statement of Significance: 'Clover Cottage and Garden', 54-60 Manuka Road, Berwick, February 2021	No	No	Yes	No	No	Yes	No
HO50	"Minard" 62-70 Manuka Road, Berwick Statement of significance: Statement of Significance: 'Minard', 62-70 Manuka Road, Berwick, March 2019	No	No	No	No	No	Yes	No
HO51	"Oatlands"	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p>15 The Elms and The Elms road reserve, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The whole lot that contains the heritage homestead, the stables and land within two metres of the perimeter of the stables, the cool store and the old cottage home and land within five metres of the perimeter of the cottage.</i></p> <p><i>The heritage place also consists of the trees that line the present driveway which will form a road reserve off Ryelands Drive when the land is subdivided.</i></p>							
HO52	<p>"Araluen"</p> <p>38S London Crescent, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The heritage park which is depicted as Reserve No. 3 for public open space on PS 649053J in accordance with Planning Permit PlnA01188/11.A.</i></p>	No	No	Yes	No	No	No	No
HO53	<p>"Kilkieran"</p> <p>692 Princes Highway, Berwick</p> <p>The heritage place comprises:</p> <p><i>The Edwardian dwelling and the Magnolia grandiflora tree.</i></p>	No	No	Yes	No	No	No	No
HO54	<p>"Dhuringa"</p> <p>59 Peel Street, 4 Elgin Street, part 6 Elgin Street and part 17 Scanlan Street, Berwick</p>	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO55	"Quarry Hills" 31 Quarry Hills Drive, Berwick	No	No	Yes	No	No	No	No
HO56	"Glen Cairn" 21-27 Robinson Road, Narre Warren North	No	No	Yes	No	No	No	No
HO57	"Hillsley" homestead complex and garden Part 90-92 and part 94-104 Robinson Road, Narre Warren North Statement of significance: <i>Statement of Significance: 'Hillsley', November 2020</i>	No	No	Yes	No	No	No	No
HO58	Wilson Botanic Park 668 Princes Highway, Berwick	No	No	Yes	No	No	No	No
HO60	"Forres Farm" 186-190 A'Beckett Road, Narre Warren North The heritage place comprises: <i>Forres Farm farmhouse and land within 10 metres of the perimeter of the house.</i>	No	No	Yes	No	No	No	No
HO61	"Essex Park Homestead" 13 Aquila Crescent and part 14-16 Essex Park Drive, Endeavour Hills	Yes	No	Yes	No	No	No	No
HO62	"The Grattons" 8-10 Bailey Road, Narre Warren North	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	The heritage place comprises: <i>The Grattons Edwardian brick farmhouse and land within 10 metres of the perimeter of the house.</i>							
HO63	"Glenlea" Part 32-42 Baker Road, Harkaway (Lot 1 TP513415) Statement of significance: <i>Statement of Significance: 'Glenlea', November 2020</i>	No	No	Yes	No	No	No	No
HO65	"Caseldene" 31 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO66	House and garden Part 8, 9 and 10/11-15 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO67	House and garden 64-70 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO68	"Glenfalloch" 88-92 Brisbane Street, Berwick	No	No	Yes	No	No	No	No
HO69	"Burr Hill" 3 Burr Hill Court, Berwick	No	No	Yes	No	No	No	No
HO70	"Four Oaks" homestead (former) and Oak trees 13 Cardigan Street and part 10 and 12 Aldridge Street, Endeavour Hills	No	No	Yes - Oak trees	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO71	Christians' Meeting House (former) 108 High Street, Berwick	Yes	No	No	No	No	No	No
HO72	Christ Church Vicarage 1 Church Street, Berwick	No	No	Yes	No	No	No	No
HO73	"Clyde Cottage" 11 Clyde Road, Berwick	Yes	No	No	No	No	No	No
HO75	"Doveton Heights" 24 Doveton Avenue, Eumemmerring	No	No	No	No	No	No	No
HO76	House 37-39 Doveton Avenue, Eumemmerring	No	No	Yes	No	No	No	No
HO77	"Alrose" 45 Elgin Street, Berwick	Yes	No	Yes	No	No	No	No
HO78	"Gloucester Cottage" 1, 2 & 3/66 (and Common Property SP:28672P) Gloucester Avenue, Berwick	Yes	No	No	No	No	No	No
HO79	"Glencairn" 159-165 Greaves Road, Narre Warren South	No	No	Yes	No	No	No	No
HO80	"Wandeen Farm" 191-207 Harkaway Road, Harkaway	No	No	Yes	No	No	No	No
HO83	"Greenacres" 178 Hessell Road, Harkaway	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	The heritage place comprises: <i>The existing bungalow built in the 1930s and land within 50 metres of the perimeter of this building.</i>							
HO84	Mechanics Institute and Free Library 13-15 High Street, Berwick	Yes	No	No	No	No	No	No
HO85	Shops 71-75 High Street, Berwick	Yes	No	No	No	No	No	No
HO87	Rechabite Hall 106 High Street, Berwick	Yes	No	No	No	No	No	No
HO88	House and garden 123 High Street, Berwick	No	No	Yes	No	No	No	No
HO89	St Michaels Church and School 125 High Street, Berwick The heritage place comprises: The 1934 Church only.	No	No	No	No	No	No	No
HO90	"Lumeah" 163 High Street, Berwick	No	No	Yes	No	No	No	No
HO91	Berwick Cemetery 16 Inglis Road, Berwick	No	No	Yes	No	No	No	No
HO92	"Quorn Cottage" 26-30 Inglis Road, Berwick	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO93	<p>"Grasmere"</p> <p>27 Inglis Road, Berwick</p> <p>The heritage place comprises:</p> <p><i>All land and buildings included in a rectangle extending from the south-western corner of the 1950s implement shed, along the western edge of that building for a distance of 65 metres, and along the southern edge of that building for a distance of 85 metres. The heritage place also includes the Golden Oak tree and land beneath and beyond the canopy edge for a distance of five metres from the canopy edge.</i></p>	No	No	Yes	No	No	No	No
HO94	<p>"Treverbyn"</p> <p>38 King Road, Harkaway</p>	No	No	Yes	No	No	No	No
HO95	<p>"Kalimna"</p> <p>13-25 King Road, Harkaway</p>	No	No	Yes	No	No	No	No
HO96	<p>"Harkaway Hall"</p> <p>56-68 King Road, Harkaway</p>	Yes	No	No	No	No	No	No
HO97	<p>"Nichol House"</p> <p>63 King Road, Harkaway</p>	No	No	No	No	No	No	No
HO98	<p>Harkaway Primary School</p> <p>65 King Road, Harkaway</p> <p>The heritage place comprises:</p>	Yes	Yes	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>A single room brick building built circa. 1876 and land within 10 metres of the perimeter of the building.</i>							
HO99	Post Office (former) 68-70 King Road and rear of 6-8 Olive Avenue, Harkaway	No	No	No	No	No	No	No
HO100	"Pine Lodge" 146-168 King Road, Harkaway	No	No	Yes	No	No	No	No
HO101	House and garden (former Doctor's Surgery and Residence) 26-30 Langmore Lane, Berwick	No	No	Yes	No	No	No	No
HO102	"Yarrimbah" 238-334 Narre Warren North Road, Narre Warren North	No	No	Yes	No	No	No	No
HO103	"Myuna Farm" 182 Kidds Road, Doveton	Yes	No	Yes	No	No	No	No
HO104	"Strathard" 6 Oldhome Court, Narre Warren South The heritage place comprises: Strathard 1930 homestead and land within 10 metres of the building to the north, east and west and land within five metres to the south.	No	No	Yes	No	No	No	No
HO105	Christ Church (Anglican) (former)	Yes	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Part 2-6 and 8 Palmerston Street and 9 Church Street, Berwick							
HO106	"Kinross" 41-43 Palmerston Street, Berwick	No	No	Yes	No	No	No	No
HO107	Berwick Primary School (former) 1-11 Peel Street, Berwick The heritage place comprises: <i>The brick building on the south-western corner of the site, which includes the 1869-70 brick classroom and circa 1920 additions. The heritage place also includes the English Oak tree (Quercus robur), two Italian Cypress trees (Cupressus sempervirens) and the Arizona Cypress tree (Cupressus glabra) at the corner of Lyall and Peel Street, and land beneath the canopy edge of these trees for a distance of five metres from the canopy edge.</i>	Yes	No	Yes	No	No	No	No
HO108	House and garden (former "Sunbury") 61 Peel Street, Berwick	No	No	Yes	No	No	No	No
HO109	Hallam's Road Hotel 241-245 Princes Highway, Hallam	Yes	No	No	No	No	No	No
HO110	House and garden (former Treeby) 31-35 Robinson Road, Narre Warren North Incorporated plan: <i>Treeby Cottage Incorporated Plan, August 2019</i>	No	No	Yes	No	No	Yes	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO111	"Harkaway Farm" 2-30 Rowallan Avenue, Harkaway	No	No	Yes	No	No	No	No
HO112	"Rowallan Farm" 15-25 Rowallan Avenue, Harkaway	No	No	Yes	No	No	No	No
HO113	"Sweeney House" 8-10 Scanlan Street, Berwick	No	No	No	No	No	No	No
HO115	House and garden (former 60-62 Shrives Road) Part 4 and part 5, 6, 7 and 9 Dargo Close and part Shrives Road reserve, Narre Warren South	No	No	Yes	No	No	No	No
HO116	Mechanics Institute 59 Webb Street, Narre Warren	Yes	Yes	Yes	No	No	No	No
HO117	House and garden (Chadwick Farm) 68-84 Chadwick Road, Harkaway	No	No	Yes	No	No	No	No
HO118	New Ardblair 65 Beaumont Road, Berwick	No	No	No	No	No	No	No
HO119	Robertson's property (former) 456 Belgrave-Hallam Road, Narre Warren North	No	No	No	No	No	No	No
HO120	Harkaway Cemetery and Bell Tower Hessell Road, Harkaway	No	No	Yes	No	No	No	No
HO122	Lysterfield Lake Weir and Reservoir 15 Reservoir Road, Narre Warren North	No	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	The heritage place comprises: <i>The weir located within Lysterfield Lake Park.</i>							
HO123	"Wingilla" 1-5 Bluff Road, Cannons Creek	No	No	Yes	No	No	No	No
HO124	House and garden 4 Central Road, Hampton Park	No	No	Yes	No	No	No	No
HO125	Hill Farm 415 Clyde-Fiveways Road, Clyde	No	No	Yes	No	No	Yes	No
HO126	Menenia Park 71 Craig Road, Cranbourne South	No	No	Yes	No	No	No	No
HO127	Valentine Park Moreton Bay Fig tree 171 Waterbush Crescent, Lyndhurst The heritage place comprises: <i>The Moreton Bay Fig tree and land beneath and beyond the canopy edge for a distance of 10 metres from the canopy edge.</i>	No	No	Yes	No	No	No	No
HO128	Eclipse Park Stud 21S Biscay Grove , Lyndhurst The heritage place comprises: Eclipse Park Stud farmhouse and land within 10 metres of its perimeter.	No	No	Yes	No	No	No	No
HO129	"Eyrecourt"	No	Yes	Yes	No	No	Yes	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	221S Grices Road, Clyde North Statement of significance: <i>Statement of Significance: 'Eyrecourt', November 2020</i>							
HO130	Southside Lodge (former "Kurrajong") 465 Pattersons Road, Clyde	No	No	Yes	No	No	Yes	No
HO131 <i>Interim control</i> <i>Expiry date: 30/06/2022</i>	"Maratala" (former "Farnham") 130 Sladen Street, Cranbourne Statement of Significance: <i>Statement of Significance: Maratala</i>	Yes	Yes - entrance hall, living room and dining room	Yes - Camphor Laurel on Sladen Street boundary	No	No	No	No
HO133	"Willandra" 130 Tuckers Road, Clyde	No	No	Yes	No	No	Yes	No
HO134	"Fernlea" 75 Tuckers Road, Clyde	No	No	Yes	No	No	Yes	No
HO135 <i>Interim control</i> <i>Expiry date: 30/06/2022</i>	St Agatha's Catholic Church (former) 150-156 & 158 (part) South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: St Agatha's Catholic Church (former), August 2020</i>	Yes	No	Yes - row of eight Bhutan Cypress trees	No	No	No	No
HO136	St Peter's Tooradin South Gippsland Highway, Tooradin	Yes	Yes	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO137	"Springmont" 1450 Thompsons Road, Cranbourne East	No	No	Yes	No	No	Yes	No
HO138	Royal Botanic Gardens Cranbourne 1000 Ballarto Road, Cranbourne	No	No	Yes	No	No	No	No
HO139 <i>Interim control</i> <i>Expiry date: 30/06/2022</i>	McMorran's Oak Tree 125 (part) South Gippsland Highway, Cranbourne (opposite Brunt Street) <i>Statement of Significance:</i> <i>Statement of Significance: Mc Morran's Oak Tree, August 2020</i>	No	No	Yes - Oak tree	No	No	No	No
HO140	Gum trees Near 71 Pound Road, Hampton Park	No	No	Yes	No	No	No	No
HO141	Cranbourne Cemetery and monuments 80 Sladen Street, Cranbourne	No	No	Yes	No	No	No	No
HO142	Avenue of Honour South Gippsland Highway, Cranbourne	-	-	-	-	Yes Ref: H2345	Yes	No
HO143	Part of Avenue of Honour (Flowering Gum trees) South Gippsland Highway, Tooradin	No	No	Yes	No	No	No	No
HO144	"Warren Park" 319 Hallam North Road, Lysterfield South	No	No	Yes	No	No	No	No
HO145	Churchill National Park (part of former Police Paddocks)	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Churchill Park Drive, Lysterfield The heritage place comprises: <i>The northern boundary dam, aqueduct, siphon, the granite quarry located off Stonemasons Track, the Dandenong Shire Quarry located off Boundary Track and five metres of land surrounding these artifacts.</i>							
HO147 Interim control Expiry date: 30/06/2022	St John's Church of England Vicarage (former) 34 Bakewell Street, Cranbourne Statement of Significance: Statement of Significance: St John's Church of England Vicarage (former), August 2020	No	No	Yes - Peppercorn tree	No	No	No	No
HO148	House 10 Ballarto Road, Clyde	No	No	No	No	No	No	No
HO149	Perry (Male) Cottage 103 Baxter-Tooradin Road, Pearcedale	Yes	No	No	No	No	No	No
HO150	St Peter's Church of England 46 Baxter-Tooradin Road, Pearcedale	No	Yes	No	Yes	No	No	No
HO151	Farmhouse and trees 305 Berwick-Cranbourne Road, Cranbourne The heritage place comprises: <i>The farmhouse and Italian Cypress and all land within the mapped overlay.</i>	No	No	Yes	No	No	Yes	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO152	<p>"Tulliallan"</p> <p>1/805, Berwick-Cranbourne Road, Cranbourne North</p> <p>The heritage place comprises:</p> <p><i>The circa 1860 cottage and associated gardens, together with the avenue of English Elm trees along the former driveway extending to Berwick-Cranbourne Road</i></p> <p>Incorporated plan: Tulliallan Incorporated Plan, June 2013</p>	No	No	Yes	Yes	No	Yes	No
HO153	<p>"Brechin Gardens"</p> <p>Brechin Drive, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>All elements of particular significance, as identified in the Brechin Gardens Incorporated Plan.</i></p> <p>Incorporated plan: Brechin Gardens Incorporated Plan, April 2019</p>	No	No	Yes	No	No	No	No
HO154	<p>House</p> <p>65-67 Brisbane Street, Berwick</p>	No	No	No	No	No	No	No
HO155	<p>Avenue of Honour (Berwick Boys Grammar School)</p> <p>Church Street, part common area 11 Church Street, part 1/11 Church Street, part 4/11 Church Street and part 72-74 Brisbane Street, Berwick</p> <p>The heritage place comprises:</p>	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>The memorial plaque and memorial row planting of seven oak trees comprising the Avenue, together with the land covered by each tree's canopy and the land beyond the edge of each canopy for a distance of five metres.</i>							
HO156	"Anunaka Mansion" 37 Churchill Park Drive, Endeavour Hills The heritage place comprises: <i>The circa 1945 house and land from a distance of metres behind the house to the street frontage and the property's eastern boundary.</i>	No	No	No	No	No	No	No
HO157 Interim control Expiry date: 30/06/2022	Graham family home 119a Clarendon Street, Cranbourne Statement of Significance: <i>Statement of Significance: Graham family home, August 2020</i>	Yes	No	No	No	No	No	No
HO160	House 71 East Road, Pearcedale The heritage place comprises: <i>The 1922 house and land extending to East Road and on other sides for a distance of five metres from the walls of the house.</i>	No	No	No	No	No	No	No
HO161	Tooradin Foreshore Reserve Precinct Foreshore Reserve, Tooradin	No	No	Yes	No	No	No	No
HO162	Fountain Gate Estate Precinct	No	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	The heritage place comprises: <i>The entry feature to the estate, the estate layout and the houses at 5 Fountain Drive, 7 Fountain Drive, 11 Fountain Drive, 15 Fountain Drive, 7 Green Ridge Avenue, 7 Hollydene Court, 2 Oakwood Court, 7 Oakwood Court, 2 Pinelands Court, 3 Pinelands Court, 9 Pinelands Court, and 6 and 6A Prospect Hill Road.</i>							
HO163	Hayton Park 2/660 Hall Road, Cranbourne	No	No	No	Yes	No	Yes	No
HO164	Farm complex 272 Hardys Road, Clyde North The heritage place comprises: <i>The inter-war house, associated farm outbuildings, to a distance of five metres around the buildings, and the land between the buildings and the street.</i>	No	No	Yes	No	No	Yes	No
HO165	Avenue of Honour Harkaway Road, Harkaway	No	No	Yes	No	No	No	No
HO166	"Tandderwen" 369 Heatherton Road, Narre Warren North	No	No	Yes	No	No	No	No
HO167	House 191 High Street, Berwick	No	No	Yes	No	No	No	No
HO168	Cranbourne War Memorial	No	No	No	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
Interim control Expiry date: 30/06/2022	Greg Clydesdale Square, 125 (part) South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: Cranbourne War Memorial, August 2020</i>							
HO169 Interim control Expiry date: 30/06/2022	Motor Club Hotel 38-56 South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: Motor Club Hotel</i>	No	No	No	No	No	No	No
HO170	"Wilga" 40 King Road, Harkaway	No	No	Yes	Yes	No	No	No
HO172	Tooradin Railway Station Precinct (former) Off Langtree Road, Tooradin	No	No	Yes	No	No	No	No
HO174	Kernot's house 23 Mickle Street, Tooradin	No	No	No	No	No	No	No
HO176	House 3 Mundaring Drive, Cranbourne	No	No	Yes	No	No	No	No
HO177	Pearcedale Public Hall 45 Pearcedale Road, Pearcedale	No	Yes	Yes	No	No	No	No
HO178	Henry Joseph Moran Reserve Pound Road, Hampton Park	No	No	Yes	No	No	No	No
HO179	House	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	3-5 Princes Domain Drive, Hallam							
HO180	Pearcedale Methodist Church (former) 12 Queens Road, Pearcedale	No	No	No	No	No	No	No
HO181	Clyde Methodist Church (former) 26 Railway Road, Clyde	No	No	No	No	No	No	No
HO182	Clyde General Store and Post Office Cnr of Railway Road and Oroya Grove, Clyde	No	No	No	No	No	No	No
HO185	Foreshore Pavilions Rutherford Parade, Warneet The heritage place comprises: <i>The two foreshore pavilions, including the buildings and surrounding land to a minimum extent of five metres, together with the land between the pavilions and Rutherford Parade.</i>	Yes	Yes	No	No	No	No	No
HO186	House 15 Rutland Road, Berwick	No	No	No	No	No	No	No
HO188	Hampton Park Primary School 32 Somerville Road, Hampton Park The heritage place comprises: <i>The 1922 school building and surrounding land to a minimum extent of five metres, extending to the frontage of the property.</i>	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO189	Christ Church of England 61 South Gippsland Highway, Tooradin	No	Yes	Yes	No	No	No	No
HO190	"Stella Maris" (former) Canary Island Palm trees 127-135 South Gippsland Highway, Tooradin The heritage place comprises: <i>The three Canary Island Palm trees and associated land extending to the edge of each tree's canopy and beyond for a distance of five metres.</i>	No	No	Yes	No	No	No	No
HO191	Farm complex 2645 South Gippsland Highway, Tooradin The heritage place comprises: <i>To the extent of the house and interwar outbuildings and sheds and associated land upto the property boundary along the South Gippsland Highway and to a distance of 20 meters from the outer wall of the house on all other sides.</i>	No	No	Yes	Yes	No	No	No
HO193	House 47 Stawell Street, Cranbourne	No	No	No	No	No	No	No
HO194	Tooradin Public Hall Tooradin Station Road, Tooradin	No	No	Yes	No	No	No	No
HO195	Former Tooradin State School site and trees 50 Tooradin Station Road, Tooradin	No	No	Yes	No	No	No	No
HO196	Former Narre Warren Primary School	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	53-55 Webb Street, Narre Warren The heritage place comprises: <i>The 1920s former school, the mature English Oak at 53 Webb Street and the two mature Elm Trees at 55 Webb Street.</i>							
HO197	"Arborea" 1 Williamson Street, Berwick The heritage place comprises: <i>The house and all the land as defined by the title boundaries excluding the rear shed, the spa enclosure and the cat enclosure.</i>	No	No	No	No	No	No	No
HO198	High Street Avenue of Honour High Street (Old Princes Highway), Berwick The heritage place comprises: <i>All trees comprising the row, together with the land covered by each tree's canopy and the land beyond the edge of each tree for a distance of five metres insofar as the land is wholly contained within the High Street (Old Princes Highway) road reserve.</i>	No	No	Yes	No	No	No	No
HO199	Avenue of Honour Wilson and Scanlon Streets, Berwick The heritage place comprises:	No	No	Yes	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>All trees comprising the row, together with the land covered by each tree's canopy and the land beyond the edge of each tree for a distance of five metres, insofar as this area is wholly contained within the Wilson and Scanlon Streets road reserve.</i>							
HO200	Fallen tree Road reserve, May Gibbs Crescent, Lynbrook	No	No	Yes	No	No	No	Yes
HO201	Tree stump Council reserve, Durack Avenue, Lynbrook	No	No	Yes	No	No	No	Yes
HO202	Clyde Primary School Oroya Crescent, Clyde	No	No	No	No	No	No	No
HO203	32 Railway Road, Clyde	No	No	No	No	No	No	No
HO204	1755 Ballarto Road, Clyde	No	No	Yes	No	No	Yes	No
HO205	20 Railway Road, Clyde	No	No	No	No	No	No	No
HO206	14 Railway Road, Clyde	No	No	No	No	No	No	No
HO207	2 Railway Road, Clyde	No	No	No	No	No	No	No
HO208 Interim control Expiry date: 30/06/2022	Avenue of Honour (local significance) Road reserve (west side) South Gippsland Highway, Cranbourne Statement of Significance: <i>Statement of Significance: World War Two Memorial Planting and Plaque Cranbourne, August 2020</i>	No	No	Yes - Turkey Oaks and English Oaks in road reserve only	No	No	No	No

CASEY PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO209	"The Meadows" 10 Smiths Lane, Clyde North	Yes	No	No	No	No	Yes	No
HO210	"Myer House" 2-106 Soldiers Road, Berwick	No	No	No	No	No	Yes	No

CASEY PLANNING SCHEME

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Proposed C275case

SCHEDULE TO CLAUSE 53.01 PUBLIC OPEN SPACE CONTRIBUTION AND SUBDIVISION

1.0

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Proposed C275case

Subdivision and public open space contribution

Type or Location of Subdivision		Amount of contribution for public open space
All land shown on Plans 1.1 and 1.2 forming part of this schedule		
CR1:		10%; or 5% for land within Schedule 2 to the Comprehensive Development Zone (CDZ2) and that is subdivided for a purpose other than residential.
CR2:		8%
CR3:		7.5%
CR4:		7%
CR5:		5%
CR6:		11%
CR7:		3.08%
CR8:		3.75%
CR9:		5.9%
CR10:	(Land north of Ballarto Road)	7.52%
	(Land south of Ballarto Road)	1.61%
CR11:		3.54%
CR12:		1.5%
CR13:		4.04% As to the composition of the contribution, it must be made in the manner set out and explained in the Cranbourne North Stage 2 Precinct Structure Plan, June 2011.
CR14:		4.21% As to the composition of the contribution, it must be made in the manner set out and explained in the Botanic Ridge Precinct Structure Plan, December 2012.
CR15		1.85% Employment 4.25% Residential As to the composition of the contribution, it must be made in the manner set out and explained in the Thompsons Road Precinct Structure Plan, October 2015.
CR16		3.99%

CASEY PLANNING SCHEME

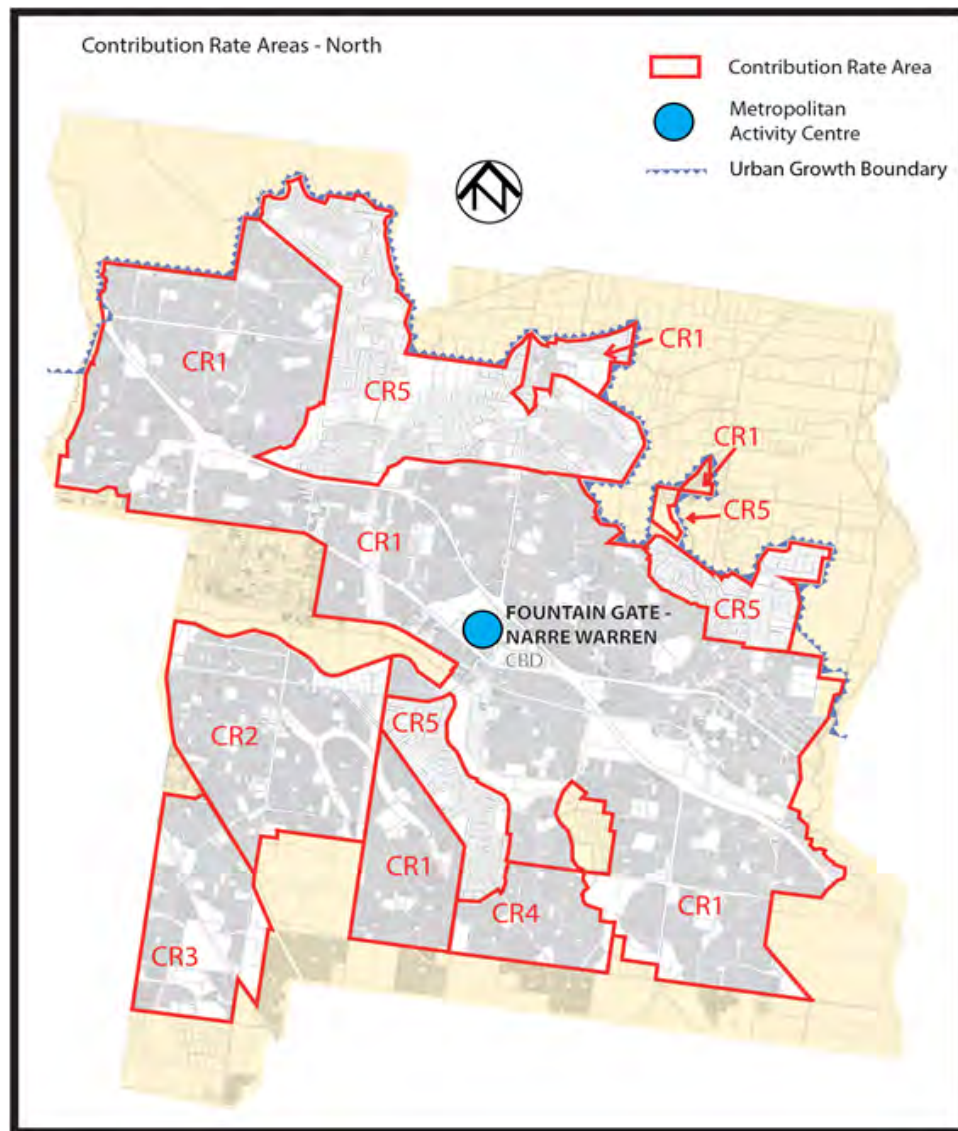
Type or Location of Subdivision	Amount of contribution for public open space
	As to the composition of the contribution, it must be made in the manner set out and explained in the Clyde Creek Precinct Structure Plan, October 2015.
CR17	4.01% As to the composition of the contribution, it must be made in the manner set out and explained in the Casey Fields South Residential Precinct Structure Plan, October 2015.
CR18	20% As to the composition of the contribution, it must be made in the manner set out and explained in the Former Amstel Golf Course Development Plan.
CR19	5.32% As to the composition of the contribution, it must be made in the manner set out and explained in the Brompton Lodge Precinct Structure Plan, August 2016.
CR20	6.51% As to the composition of the contribution, it must be made in the manner set out and explained in the Casey Central Town Centre Precinct Structure Plan, May 2016.

These amounts do not apply to:

- The subdivision of land for existing dwellings.
- The subdivision of any land not in a residential zone, Urban Growth Zone or Precinct Structure Plan area. This exemption does not apply to:
 - Land in Cranbourne North Service Business Precinct (CR12)
 - Land within schedule 2 to the Comprehensive Development Zone.
 - Land identified for residential purposes or located in Precinct 5, in the Fountain Gate-Narre Warren CBD under Schedule 2 to the Activity Centre Zone.
 - Land in Precinct 3 of Schedule 1 to the Activity Centre Zone.
 - The residential portion of a development of land in schedule 1 to the Activity Centre Zone.

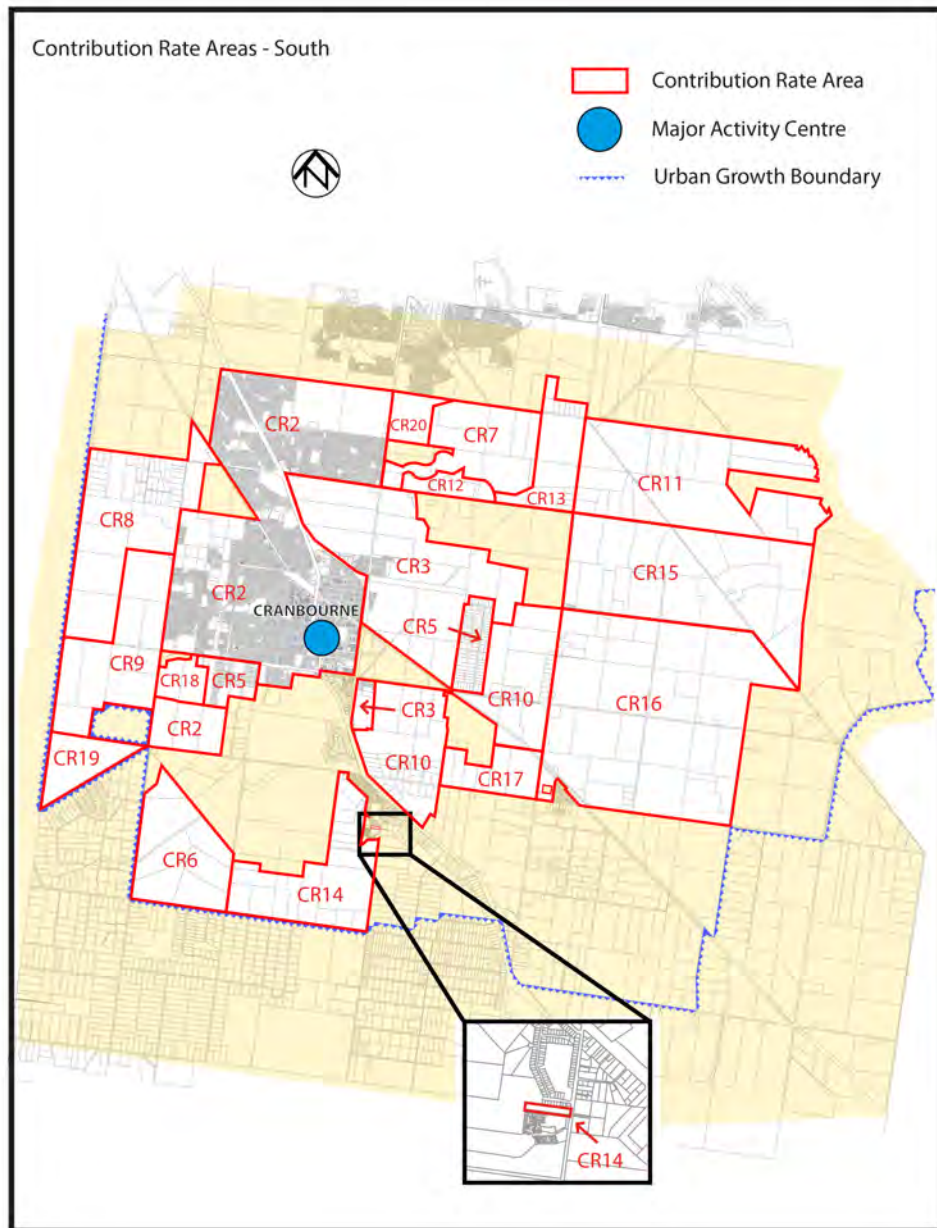
CASEY PLANNING SCHEME

Plan 1.1 to Clause 53.01



CASEY PLANNING SCHEME

Plan 1.2 to Clause 53.01



CASEY PLANNING SCHEME

31/07/2018
VC148
Proposed C275case

SCHEDULE TO CLAUSE 53.01 PUBLIC OPEN SPACE CONTRIBUTION AND SUBDIVISION

1.0

Subdivision and public open space contribution

06/05/2021
G207pt1case
Proposed C275case

Type or Location of Subdivision		Amount of contribution for public open space
All land shown on Plans 1.1 and 1.2 forming part of this schedule		
CR1:		10%; or 5% for land within Schedule 2 to the Comprehensive Development Zone (CDZ2) and that is subdivided for a purpose other than residential.
CR2:		8%
CR3:		7.5%
CR4:		7%
CR5:		5%
CR6:		11%
CR7:		3.08%
CR8:		3.75%
CR9:		5.9%
CR10:	(Land north of Ballarto Road)	7.52%
	(Land south of Ballarto Road)	1.61%
CR11:		3.54%
CR12:		1.5%
CR13:		4.04% As to the composition of the contribution, it must be made in the manner set out and explained in the Cranbourne North Stage 2 Precinct Structure Plan, June 2011.
CR14:		4.21% As to the composition of the contribution, it must be made in the manner set out and explained in the Botanic Ridge Precinct Structure Plan, December 2012.
CR15		1.85% Employment 4.25% Residential

CASEY PLANNING SCHEME

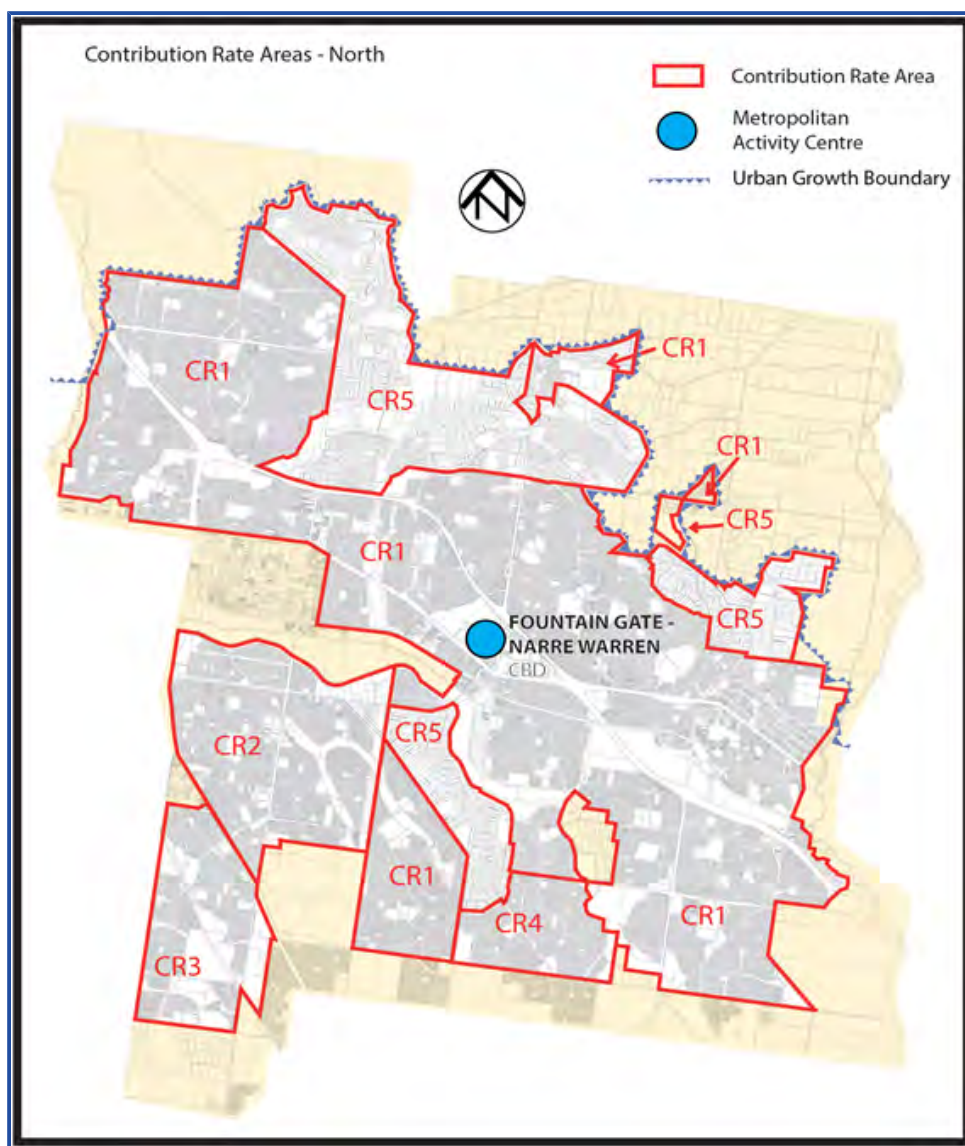
Type or Location of Subdivision	Amount of contribution for public open space
	As to the composition of the contribution, it must be made in the manner set out and explained in the Thompsons Road Precinct Structure Plan, October 2015.
CR16	3.99% As to the composition of the contribution, it must be made in the manner set out and explained in the Clyde Creek Precinct Structure Plan, October 2015.
CR17	4.01% As to the composition of the contribution, it must be made in the manner set out and explained in the Casey Fields South Residential Precinct Structure Plan, October 2015.
CR18	20% As to the composition of the contribution, it must be made in the manner set out and explained in the Former Amstel Golf Course Development Plan.
CR19	5.32% As to the composition of the contribution, it must be made in the manner set out and explained in the Brompton Lodge Precinct Structure Plan, August 2016.
CR20	6.51% As to the composition of the contribution, it must be made in the manner set out and explained in the Casey Central Town Centre Precinct Structure Plan, May 2016.
These amounts do not apply to:	Not specified
<ul style="list-style-type: none"> ■ The subdivision of land to create lots for existing dwellings, for which the amount is: 	
<ul style="list-style-type: none"> ■ The subdivision of any land not in a residential zone, Urban Growth Zone or Precinct Structure Plan area for which the amount is: <ul style="list-style-type: none"> - This exemption does not apply to: <ul style="list-style-type: none"> ■ Land in Granbourne North Service Business Precinct (CR12): ■ Land identified for residential purposes or located in Precinct 5, in the Fountain Gate-Narre Warren CBD under Schedule 2 to the Activity Centre Zone: ■ Land within Schedule 2 to the Comprehensive Development Zone (GDZ2): 	Not specified

CASEY PLANNING SCHEME

These amounts do not apply to:

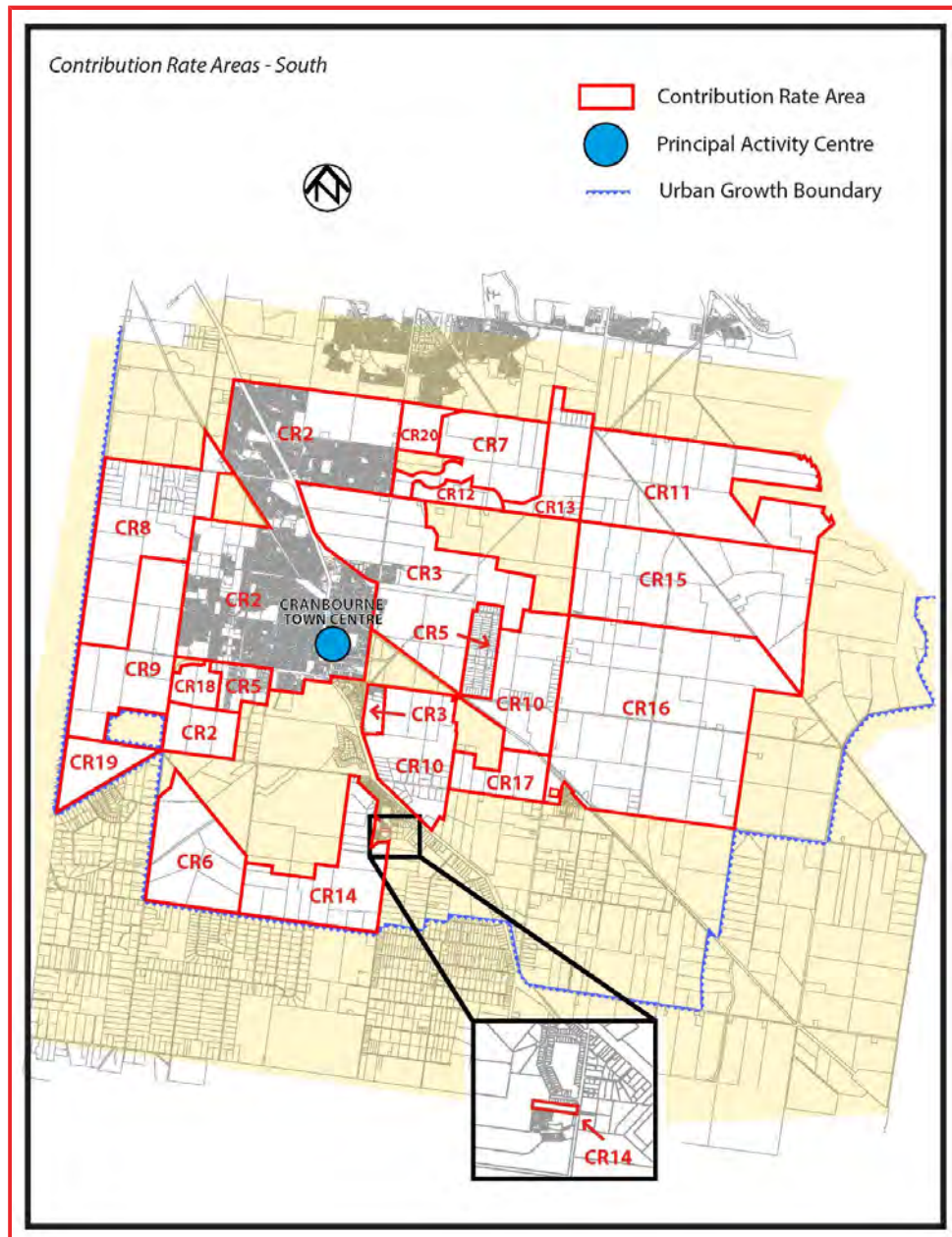
- The subdivision of land for existing dwellings.
- The subdivision of any land not in a residential zone, Urban Growth Zone or Precinct Structure Plan area. This exemption does not apply to:
 - Land in Cranbourne North Service Business Precinct (CR12)
 - Land within schedule 2 to the Comprehensive Development Zone.
 - Land identified for residential purposes or located in Precinct 5, in the Fountain Gate-Narre Warren CBD under Schedule 2 to the Activity Centre Zone.
 - Land in Precinct 3 of Schedule 1 to the Activity Centre Zone.
 - The residential portion of a development of land in schedule 1 to the Activity Centre Zone.

Plan 1.1 to Clause 53.01

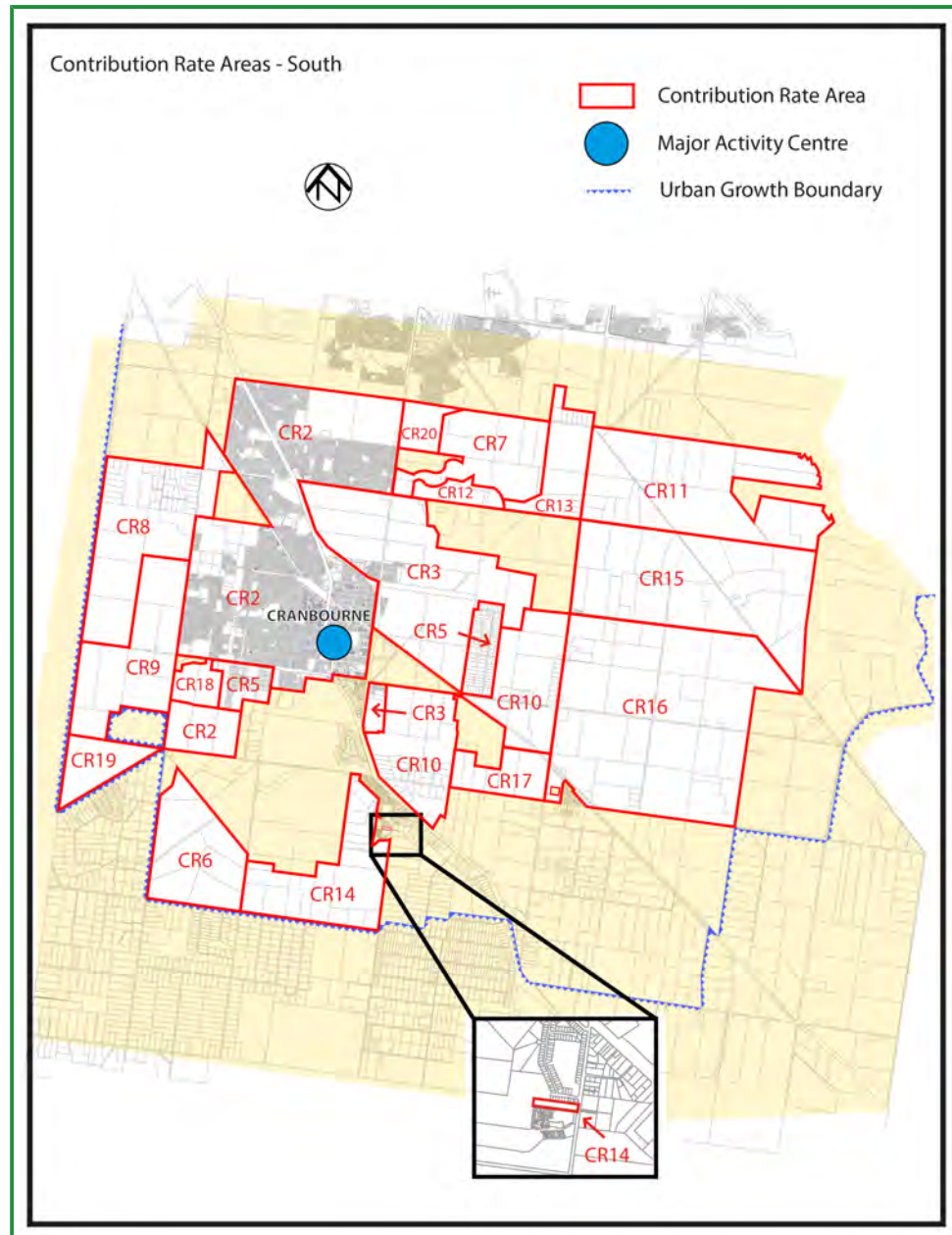


CASEY PLANNING SCHEME

Plan 1.2 to Clause 53.01



CASEY PLANNING SCHEME



CASEY PLANNING SCHEME

17/01/2019
GC116**SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?****1.0**---
Proposed C275case**Maps comprising part of this planning scheme:**

- 1, 1ESO8, 1HO, 1LSIO, 1SBO, 1BMO
- 2, 2ESO7, 2DPO, 2HO, 2LSIO, 2SBO, 2SLO, 2BMO
- 3, 3ESO8, 3DPO, 3HO, 3LSIO, 3PAO, 3SBO, 3SLO, 3BMO
- 4, 4ESO7, 4ESO8, 4DPO, 4HO, 4LSIO, 4SBO, 4SCO, 4RXO
- 5, 5ESO7, 5ESO8, 5DCPO, 5DPO, 5HO, 5PAO, 5SBO, 5SLO, 5LSIO, 5BMO, 5RXO, 5SCO
- 6, 6ESO8, 6DPO, 6HO, 6LSIO, 6SBO, 6SLO, 6BMO
- 7, 7ESO7, 7ESO8, 7DCPO, 7DDO, 7DPO, 7HO, 7LSIO, 7PAO, 7SBO, 7SCO
- 8, 8ESO7, 8ESO8, 8DCPO, 8DDO, 8DPO, 8EAO, 8HO, 8LSIO, 8PAO, 8SBO, 8SCO
- 9, 9ESO7, 9ESO8, 9DCPO, 9DPO, 9HO, 9ICO, 9LSIO, 9PAO, 9SBO, 9SLO, 9VPO, 9BMO, 9PO, 9SCO
- 10, 10ESO7, 10DCPO, 10DPO, 10HO, 10LSIO, 10PAO, 10SBO, 10SCO
- 11, 11ESO7, 11ESO8, 11DCPO, 11DPO, 11EAO, 11HO, 11LSIO, 11PAO, 11PO, 11SBO, 11SCO
- 12, 12ESO7, 12ESO8, 12DCPO, 12EAO, 12HO, 12ICO, 12LSIO, 12PAO, 12SCO
- 13, 13DCPO, 13EAO, 13ESO, 13ESO7, 13HO, 13ICO, 13IPO, 13LSIO, 13PAO, 13SCO
- 14, 14DCPO, 14DPO, 14EAO, 14ESO, 14ESO7, 14ESO8, 14HO, 14LSIO, 14PAO, 14SBO, 14SCO, 14VPO, 14BMO
- 15, 15DCPO, 15DPO, 15EAO, 15ESO, 15ESO7, 15ESO8, 15HO, 15LSIO, 15PAO, 15PO, 15SBO, 15BMO, 15SCO
- 16, 16ESO8, 16DCPO, 16EAO, 16HO, 16ICO, 16LSIO, 16PAO
- 17, 17ESO, 17ESO7, 17LSIO, 17PAO, 17BMO
- 18, 18ESO, 18ESO7, 18ESO8, 18HO, 18LSIO, 18PAO, 18SLO, 18BMO
- 19, 19ESO, 19ESO8, 19HO, 19LSIO, 19SLO, 19PAO, 19BMO
- 20, 20ESO, 20ESO8, 20HO, 20LSIO, 20 PAO, 20SBO, 20SLO, 20BMO
- 21, 21ESO, 21HO, 21LSIO, 21PAO, 21SLO, 21BMO
- 22, 22ESO, 22ESO8, 22HO, 22LSIO, 22PAO, 22SLO, 22BMO

CASEY PLANNING SCHEME

17/01/2019
GC116**SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?****1.0****Maps comprising part of this planning scheme:**14/06/2020
G265case

Proposed C275case1, 1ESO8, 1HO, 1LSIO, 1SBO, 1BMO

- 2, 2ESO7, 2DPO, 2HO, 2LSIO, 2SBO, 2SLO, 2BMO
- 3, 3ESO8, 3DPO, 3HO, 3LSIO, 3PAO, 3SBO, 3SLO, 3BMO
- 4, 4ESO7, 4ESO8, 4DPO, 4HO, 4LSIO, 4SBO, 4SCO, 4RXO
- 5, 5ESO7, 5ESO8, 5DCPO, 5DPO, 5HO, 5PAO, 5SBO, 5SLO, 5LSIO, 5BMO, 5RXO, 5SCO
- 6, 6ESO8, 6DPO, 6HO, 6LSIO, 6SBO, 6SLO, 6BMO
- 7, 7ESO7, 7ESO8, 7DCPO, 7DDO, 7DPO, 7HO, 7LSIO, 7PAO, 7SBO, 7SCO
- 8, 8ESO7, 8ESO8, 8DCPO, 8DDO, 8DPO, 8EAO, 8HO, 8LSIO, 8PAO, 8SBO, 8SCO
- 9, 9ESO7, 9ESO8, 9DCPO, 9DPO, 9HO, 9ICO, 9LSIO, 9PAO, 9SBO, 9SLO, 9VPO, 9BMO, 9PO, 9SCO
- 10, 10ESO7, 10DCPO, 10DPO, 10HO, 10LSIO, 10PAO, 10SBO, 10SCO
- 11, 11ESO7, 11ESO8, 11DCPO, 11DPO, 11EAO, 11HO, 11LSIO, 11PAO, 11PO, 11SBO, 11SCO
- 12, 12ESO7, 12ESO8, 12DCPO, 12EAO, 12HO, 12ICO, 12LSIO, 12PAO, 12SCO
- 13, 13DCPO, 13EAO, 13ESO, 13ESO7, 13HO, 13ICO, 13IPO, 13LSIO, 13PAO, 13SCO
- 14, 14DCPO, 14DPO, 14EAO, 14ESO, 14ESO7, 14ESO8, 14HO, 14LSIO, 14PAO, 14SBO, 14SCO, 14VPO, 14BMO
- 15, 15DCPO, 15DPO, 15EAO, 15ESO, 15ESO7, 15ESO8, 15HO, 15LSIO, 15PAO, 15PO, 15SBO, 15BMO, 15SCO
- 16, 16ESO8, 16DCPO, 16EAO, 16HO, 16ICO, 16LSIO, 16PAO
- 17, 17ESO, 17ESO7, 17LSIO, 17PAO, 17BMO
- 18, 18ESO, 18ESO7, 18ESO8, 18HO, 18LSIO, 18PAO, 18SLO, 18BMO
- 19, 19ESO, 19ESO8, 19HO, 19LSIO, 19SLO, 19PAO, 19BMO
- 20, 20ESO, 20ESO8, 20HO, 20LSIO, 20 PAO, 20SBO, 20SLO, 20BMO
- 21, 21ESO, 21HO, 21LSIO, 21PAO, 21SLO, 21BMO
- 22, 22ESO, 22ESO8, 22HO, 22LSIO, 22PAO, 22SLO, 22BMO

CASEY PLANNING SCHEME

18/04/2019
C261case**SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME****1.0**---
Proposed C275case**Incorporated documents**

Name of document	Introduced by:
'2-106 Soldiers Road, Berwick' Incorporated Document, March 2019	GC120
Abbotts Road Level Crossing Removal Project, Incorporated Document, November 2017 (amended December 2017)	GC87
Berwick Health and Education Precinct Comprehensive Development Plan, April 2021	C207pt1case
Berwick South Development Contributions Plan, City of Casey, April 1998 (Amended September 2020)	C279case
Berwick Waterways Development Contributions Plan, October 2014 (Amended June 2017)	GC75
Berwick Waterways Precinct Structure Plan, October 2014 (Amended December 2014)	C182
Botanic Ridge Development Contributions Plan, December 2012 (Amended September 2017)	GC75
Botanic Ridge Native Vegetation Precinct Plan, December 2012	C133
Botanic Ridge Precinct Structure Plan, December 2012 (amended May 2017)	C227
Brechin Gardens Incorporated Plan, April 2019	C224
Brompton Lodge Development Contributions Plan, August 2016 (Amended July 2017)	GC75
Brompton Lodge Native Vegetation Precinct Plan, August 2016	C190
Brompton Lodge Precinct Structure Plan, August 2016	C190
Cardinia Creek South Infrastructure Contributions Plan, March 2019	C261case
Cardinia Creek South Precinct Structure Plan, March 2018	C221Pt1
Casey Central Town Centre Precinct Structure Plan, May 2016	C189
Casey Cultural Precinct Incorporated Document, August 2014	C201
Casey Fields South Residential Precinct Structure Plan, October 2015	C208
Caulfield Dandenong Rail Upgrade Project, Incorporated Document, April 2016	GC37
Clyde Creek Precinct Structure Plan, October 2015	C208
Clyde Development Contributions Plan, October 2015 (Amended June 2017)	GC75
Clyde North Precinct Structure Plan (including the Clyde North Native Vegetation Precinct Plan) September 2011	C153
Clyde North Precinct Structure Plan Development Contributions Plan, August 2011 (Amended June 2017)	GC75
Clyde Road, Berwick Level Crossing Removal Project Incorporated Document, February 2020	C270case
Cranbourne East Precinct Structure Plan (including the Cranbourne East Native Vegetation Precinct Plan) May 2010	C119
Cranbourne East Precinct Structure Plan Development Contributions Plan, May 2010	C119
Cranbourne Line Upgrade Incorporated Document, February 2020	GC143

CASEY PLANNING SCHEME

Name of document	Introduced by:
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Cranbourne North Stage 2 Precinct Structure Plan (including the Cranbourne North Stage 2 Native Vegetation Precinct Plan), June 2011	C125
Cranbourne Racing Complex and Surrounds Investment and Development Plan, City of Casey, January 2015	C166
Cranbourne West Development Contributions Plan, City of Casey, August 2015 (Amended August 2017)	GC75
Cranbourne West Precinct Structure Plan, City of Casey, May 2012	C159
Development Contribution Plan for Local Structure Plan 3 Cranbourne - East, 7 July 2015	C212
Evans Road, Lyndhurst Level Crossing Removal Project Incorporated Document, June 2019	C267case
Fountain Gate-Narre Warren CBD Development Contributions Plan – Development Contribution Rates and Explanatory Material - City of Casey, January 2011	C146
Hallam North Road (Heatherton Road to James Cook Drive) Upgrade Project Incorporated Document, February 2019	C260case
Lyndhurst Development Contributions Plan, November 2015	C218
Lyndhurst Neighbourhood Activity Centre Comprehensive Development Plan, City of Casey, October 2009	C102
Melbourne Metro Rail Project: Upgrades to the Rail Network Incorporated Document, May 2018	GC96
Minta Farm Infrastructure Contributions Plan, April 2021	C269case
Minta Farm Precinct Structure Plan, October 2018 (Amended April 2021)	C282case
Monash Freeway Upgrade Project Incorporated Document, March 2016	GC47
Monash Freeway Upgrade Project (Stage 2) Incorporated Document, August 2018	GC103
Narre Warren - Cranbourne Road (Thompsons Road to South Gippsland Highway) Upgrade Project Incorporated Document, May 2019	C262case
<i>Small Lot Housing Code</i> (Victorian Planning Authority, November 2019)	GC150
South Gippsland Highway, Dandenong South Level Crossing Removal Project Incorporated Document, September 2019	GC136
Statement of Significance: 'Clover Cottage and Garden', 54-60 Manuka Road, Berwick, February 2021	C231case
Statement of Significance: Cranbourne War Memorial, August 2020	C275case
Statement of Significance: 'Eyrecourt', 221S Grices Road, Clyde North, November 2020	C230case
Statement of Significance: 'Glenlea', 32-42 Baker Road, Harkaway, November 2020	C230case
Statement of Significance: Graham Family Home, August 2020	C275acse
Statement of Significance: 'Hillsley', 90-104 Robinson Road, Narre Warren North, November 2020	C230case
Statement of Significance: Maratala, August 2020	C275case
Statement of Significance: McMorran's Oak Tree, August 2020	C275case
Statement of Significance: 'Minard', 62-70 Manuka Road, Berwick, March 2019	C231case

CASEY PLANNING SCHEME

Name of document	Introduced by:
Statement of Significance: Motor Club Hotel, August 2020	C275case
Statement of Significance: St Agatha's Catholic Church (former), August 2020	C275case
Statement of Significance: St John's Church of England Vicarage (former), August 2020	C275case
Statement of Significance: St John the Evangelist Church of England Complex, August 2020	C275case
Statement of Significance: The Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former), August 2020	C275case
Statement of Significance: 'Quilly Park', Part 55 Craigs Lane, Pearcedale, November 2020	C230case
Statement of Significance: World War Two Memorial Planting and Plaque, August 2020	C275case
Thompsons Road Precinct Structure Plan, October 2015	C208
Treeby Cottage Incorporated Plan, August 2019	C192case
Tulliallan Incorporated Plan, June 2015	C215
Victorian Desalination Project Incorporated Document, June 2009	C140
Western Port Highway Upgrade Project Incorporated Document, August 2021	GC182

CASEY PLANNING SCHEME

18/04/2019
C261case**SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME****1.0****Incorporated documents**25/11/2021
GC181Proposed C275case

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Monash Freeway Upgrade Project (Stage 2) Incorporated Document, August 2018	GC103
Narre Warren - Cranbourne Road (Thompsons Road to South Gippsland Highway) Upgrade Project Incorporated Document, May 2019	C262case
Site-Specific Control – Units 2 & 3/270 South Gippsland Highway, Cranbourne; Use of the land as a shop for the sale of fishing supplies, November 2010	GC141
Small Lot Housing Code (Victorian Planning Authority, November 2019)	GC150
South Gippsland Highway, Dandenong South Level Crossing Removal Project Incorporated Document, September 2019	GC136
Statement of Significance: 'Clover Cottage and Garden', 54-60 Manuka Road, Berwick, February 2021	C231case
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Statement of Significance: 'Glenlea', 32-42 Baker Road, Harkaway, November 2020	C230case
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CASEY PLANNING SCHEME

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Thompsons Road Precinct Structure Plan, October 2015	C208
Treeby Cottage Incorporated Plan, August 2019	C192case
Tulliallan Incorporated Plan, June 2015	C215
Victorian Desalination Project Incorporated Document, June 2009	G140
Victorian Desalination Project Incorporated Document, June 2009	C140
Western Port Highway Upgrade Project Incorporated Document, August 2021	GC182

Submitter No.	Name	Street	Suburb	Submission type	Submission Summary	Officers Response/Position at Panel
1		Berwick-Cranbourne Toad	Cranbourne East	Oppose – requests change	Opposes the amendment as there are no detailed plans proposed. Identifies the area is already very busy and wants to know the impact the Amendment will have on existing residents in terms of rates, property values, increase in noise, traffic conditions.	Acknowledge submission. Amendment C275case is the culmination of a significant body of strategic work for the Cranbourne Major Activity Centre. The Amendment has been informed by the <i>Cranbourne Major Activity Centre Structure Plan</i> which provides statutory and non-statutory implementation actions to support the growth and development of the Cranbourne Major Activity Centre in the short- to medium-term. The <i>Planning and Environment Act 1987</i> limits the scope of matters which can be considered, the valuation of property is not within the scope of matters. Some increase in noise and traffic can be expected within or near a Major Activity Centre. Amendment C275case proposes controls to protect the amenity of existing residential development and areas where an intensification of residential development is expected near commercial uses which may have adverse noise impacts. Traffic levels within the Cranbourne Major Activity Centre are not expected to substantially increase as a result of the Amendment; the amendemnts and the structure plan more broadly seek to encourage greater use of active transport modes as well as proposing projects and changes to support this mode shift. Officers have been in contact with the submitter by phone and email to better understand their concerns and the aspects of the amendment they were requesting a change to and are awaiting further information. No change recommended to the Amendment as a result of this submission.
2		Cranbourne	Cranbourne	Oppose –	Opposes the amendment and	Acknowledge submission. Planning Scheme Amendments

		Drive		requests change	requests further information is provided in simplified language. Notes that if the amendemnts is aimed to make Cranbourne a "smart city like hub" requests information is provided in simpler language and requests reply email.	and changes proposed to planning policy can be complex and difficult to understand. Notice letters which were sent to owners and occupiers of affected and adjoining properties included a series of "Frequently Asked Questions" explaining the key elements of Amendment C275case and the Planning Scheme Amendment Process as well as the contact details of officers the could discuss the Amendment with. The notice letters also included a QR code linking to the Casey Conversations web page for Amendment C275case which provided more information as well as all the amendment documents and supporting information. Officers have been in contact with the submitter via email to provide general information only about the impacts the amendment may have on their property, as their full address was not provided and advised they can get in contact view email or phone to discuss the amendment further. No change recommended to the Amendment as a result of this submission.
3	Melbourne Water			Support	Melbourne Water raised no concerns with the Amendment and noted they do not with to be a party to Panel hearing if one is required. Noted information is preliminary in nature and more detailed work would be completed as part of any projects or development as required. Any future development must appropriately cater for the	Acknowledge submission. Melbourne Water will receive referrals for future planning permits as per the requirements of the Casey Planning Scheme. No change recommended to the Amendment as a result of this submission.

					protection of Melbourne Water assets and mitigate impacts of any increase in impervious surface.	
4	Department of Environment, Land, Water and Planning			Support	The Department of Environment, Land, Water and Planning reviewed the amendemnts and advised they do not have any objections.	Acknowledge submission. No change recommended to the Amendment as a result of this submission.
5		Mountainview Road	Clyde	Oppose – requests change	Opposes the amendment and requests a major arts/events centre is developed. Recognises that culture is integral to a cohesive society and sustainable planning.	Acknowledge submission. The submission was made outside the exhibition period and may be considered by Council. Amendment C275case proposes changes to the planning framework, it does not propose capital projects but does identify that in Cranbourne (as well as within other large activity centres) there is a need to balance commercial and community uses. The Cranbourne Major Activity Centre Structure Plan does include policy and direction around further investigating the need and location for community infrastructure. Officers have written to the submitter. No change recommended to the Amendment as a result of this submission.

**Minutes of Council Meeting
held in the Function Centre, Bunjil Place,
Narre Warren.**

Tuesday, 15 March 2022

Commenced at 4:00 PM

**Vision for the future: Become a more connected, bold and
resilient community.**

Chairperson: Chair of Administrators, Noelene Duff PSM

Administrator: Cameron Boardman

Administrator: Miguel Belmar

Chief Executive Officer: Glenn Patterson

Order of Business

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1.2. Reading of the Diversity Statement	4
2. Confirmation of Minutes	4
3. Declarations of Conflict of Interests and Personal Interests.....	4
4. Public Question Time	4
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5.1. Land Acquisition – part 80s Springleaf Ave, Clyde North	5
5.2. 2021/22 Mid Year Budget Review	6
5.3. Quarterly Community Report October - December 2021	6
5.4. LGPRF 2020/21 Full Years Results and 2021/22 Half Year Results	7
5.5. Employment Land Design Guide	7
5.6. Contract Extension CT000361 Management of Design Documentation and Construction of Council Buildings.....	7
5.7. Amendment C275case to the Casey Planning Scheme: Review of the Planning Framework for the Cranbourne Major Activity Centre.....	8
5.8. s11A Instrument of Authorisation - Planning and Environment Act 1987	8
5.9. CEO Employment & Remuneration Committee.	8
6.Consideration of Reports of Committees	9
6.1. Bi - Annual Audit and Risk Committee Update.....	9
6.2. Record of Discussion	10
7.Petitions.....	10
8.Urgent Business	10
9.Closed Council.....	10

Attendance**Administrators Present:**

<i>Noelene Duff, PSM</i>	<i>Chairperson of Administrators</i>
<i>Miguel Belmar</i>	<i>Administrator</i>
<i>Cameron Boardman</i>	<i>Administrator</i>

In Attendance:

<i>Glenn Patterson</i>	<i>Chief Executive Officer</i>
<i>Jen Bednar</i>	<i>Director Customer & Business Transformation</i>
<i>James Collins</i>	<i>Director City Planning & Infrastructure</i>
<i>Steve Coldham</i>	<i>Director Community Life</i>
<i>Keri New</i>	<i>Director Corporate Services</i>
<i>Simon Horsburgh</i>	<i>AV Technician</i>
<i>Jordan Barfoot</i>	<i>AV Technician</i>
<i>Nicole Estrada</i>	<i>Minutes Assistant</i>
<i>John Nguyen - left at 5.02 p.m</i>	<i>Chairperson Audit and Risk Committee</i>
<i>Caroline Bell</i>	<i>Manager Corporate Governance</i>
<i>Carol Smith</i>	<i>Office of Council Coordinator</i>
<i>Juanita Du Plessis</i>	<i>Manager Communications and Marketing</i>

1. WELCOME AND ACKNOWLEDGEMENTS

1.1. READING OF THE STATEMENT OF ACKNOWLEDGEMENT

The Chairperson of Administrators read the Statement of Acknowledgement.

1.2. READING OF THE DIVERSITY STATEMENT

The Chairperson of Administrators read the Diversity Statement.

2. CONFIRMATION OF MINUTES

Mover/ Seconder: Mr Belmar / Mr Boardman

That the Minutes of the Council Meeting held on 15 February 2022 be confirmed.

Carried

3. DECLARATIONS OF CONFLICT OF INTERESTS AND PERSONAL INTERESTS

Nil.

4. PUBLIC QUESTION TIME

At 4.04pm Question Time commenced.

Note: Questions are reproduced as prepared by the Questioner and no guarantee is given that any subject matter or statement contained in the question is factually correct.

Question 1 - Metal Railing installation on Narre Warren - Cranbourne Road – Submitted by Daniel Snell

How will council maintain the grass on the median strip now that the railings block access for mowing? They are already poorly maintained and now impossible to mow.

The answer was prepared and directly provided to the submitter by the Manager City Presentation

Question 2 - Timing and volume of roadworks in City of Casey - Submitted by Daniel Snell

Can you please review your schedule of road works to consider traffic flow with multiple projects overlapping at the moment? Everywhere you look in the City of Casey there are roadworks. Can you complete works during school holidays where possible?

The answer was prepared and directly provided to the submitter by the Manager City Presentation

Public Question Continued

Question 3 - Parks maintenance - Submitted by Daniel Snell

The garden and grass maintenance at Narre Warren North Recreation Reserve has been poor. If you are not going to maintain your parks, can you offer grants to the sporting clubs that occupy these facilities to maintain them to an acceptable standard?

The answer was prepared and directly provided to the submitter by the Manager City Presentation

At 4.05pm Question Time concluded.

5. OFFICER'S REPORTS FOR CONSIDERATION

Land Acquisition – part 80s Springleaf Ave, Clyde North	ITEM: 5.1.
City Planning and Infrastructure	
Growth and Investment	
Kathryn Seirlis	

Purpose of Report:	For Council to consider the acquisition of land for a community centre site at 80s Springleaf Avenue, Clyde North.
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Mover / Seconder: Mr Belmar / Mr Boardman

That Council:

- 1. Take all actions under the *Land Acquisition & Compensation Act 1986* to acquire the subject land totalling approximately 0.40ha shown on the proposed Plan of Subdivision 900413G as 'Reserve No 1' on Attachment '2' being part of the property known as 80s Springleaf Avenue, Clyde North.**
- 2. Authorises the Chief Executive Officer to affix Council's Seal to the Transfer of Land and act on its behalf in this matter.**
- 3. Make payments for the land acquisition in accordance with the Development Contribution Plan methodology and the *Planning and Environment Act 1987*.**

Carried

**Amendment C275case to the Casey Planning Scheme:
Review of the Planning Framework for the Cranbourne
Major Activity Centre**

ITEM: 5.7.

City Planning and Infrastructure
Growth and Investment
Kathryn Seirlis

Purpose of Report: To consider submissions received in response to the public exhibition of Amendment C275case.

Mover / Seconder: Mr Belmar / Mr Boardman

That Council:

1. Request the Minister for Planning appoint a Panel under Section 153 of the *Planning and Environment Act 1987* to consider the submissions received in response to the exhibition of Amendment C275case.
2. Refer all submissions to Amendment C275case to the Panel, in accordance with Section 23(1)(b) and 23(2) of the *Planning and Environment Act 1987*.
3. Makes a submission to the Panel in support of Amendment C275case to the Casey Planning Scheme generally as shown in Attachments 2 and 3.
4. Notifies all submitters (except for Melbourne Water who requested not to be further contacted about this matter) of Council's decision.

Carried

**s11A Instrument of Authorisation - Planning and
Environment Act 1987**

ITEM: 5.8.

Corporate Services
Corporate Governance
Caroline Bell

Purpose of Report: To authorise officers to exercise powers under the *Planning and Environment Act 1987*.

Mover / Seconder: Mr Boardman / Mr Belmar

That Council resolves that:

1. The members of Council staff referred to in the s11A Instrument of Authorisation *Planning & Environment Act 1987* be appointed and authorised as set out in the Instrument.
2. The Instrument be signed by the Chief Executive Officer on behalf of Council.
3. The Instrument comes into force immediately upon signing by the Chief Executive Officer and remains in force until such time that Council determines to vary or revoke it.

Carried

6.2. RECORD OF DISCUSSION

That the Record of the Assembly of Councillors, as listed, be received and noted.

Noted

7. PETITIONS

Nil.

8. URGENT BUSINESS

Nil.

9. CLOSED COUNCIL

Pursuant to Section 3 of the Local Government Act 2020 (the Act), the Chief Executive Officer has determined an item, and their attachments are confidential in accordance with Section 3 of the Act for the reasons specified.

Section 3(h) - confidential meeting information, being the records of meetings closed to the public under section 66(2)(a).

CONCLUSION OF MEETING

The Meeting closed at 5.03 p.m

Confirmed this 19th day of April 2022

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Ms Noelene Duff
Chairperson of Administrators
City of Casey

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