

**CASEY PLANNING SCHEME**

**AMENDMENT C275case**

**INSTRUCTION SHEET**

The planning authority for this amendment is the City of Casey.

The Casey Planning Scheme is amended as follows:

**Planning Scheme Maps**

The Planning Scheme Maps are amended by a total of six attached map sheets.

***Zoning Maps***

1. Amend Planning Scheme Map Nos 11ZN and 15ZN in the manner shown in the six attached map marked "Casey Planning Scheme, Amendment C275case".

***Overlay Maps***

2. Amend Planning Scheme Map No 11HO and 15HO in the manner shown in the six attached maps marked "Casey Planning Scheme, Amendment C275case".
3. Amend Planning Scheme Map No 15ESO in the manner shown in the six attached maps marked "Casey Planning Scheme, Amendment C275case".
4. Insert new Planning Scheme Map No 11PO and 15PO in the manner shown in the six attached maps marked "Casey Planning Scheme, Amendment C275case"

**Planning Scheme Ordinance**

The Planning Scheme Ordinance is amended as follows:

5. In **Local Planning Policy Framework** – Clause 21.15, replace the clause with a new clause in the form of the attached document.
6. In **Local Planning Policy Framework** – Clause 21.16, replace the clause with a new clause in the form of the attached document.
7. In **Zones** – Clause 37.08, replace Schedule 1 with a new Schedule 1 in the form of the attached document.
8. In **Overlays** – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
9. In **Overlays** – Clause 45.09, insert a new Schedule 2 in the form of the attached document.
10. In **Particular Provisions** – Clause 53.01, replace the Schedule with a new Schedule in the form of the attached document.
11. In **Operational Provisions** – Clause 72.03, replace the Schedule with a new Schedule in the form of the attached document.

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12. In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

End of document

**21.15**04/04/2019  
C204**CRANBOURNE****21.15-1**28/01/2021  
C258case**Profile**

The older parts of residential Cranbourne have a character and quality that is clearly recognised and valued by the community. The Cranbourne Major Activity Centre manages to keep its country town atmosphere while serving as a regional hub for a diverse community that has a growing sense of pride.

**21.15-2**--/--/---  
Proposed C275case**Objectives**

- To retain Cranbourne's clear sense of identity, self-reliance and township character.
- To maintain and strengthen the distinctive landscape character of the Cranbourne Township and the surrounding residential areas.
- To provide diversity in housing choice in the historic core of Cranbourne, which has a unique amenity of wide tree-lined streets.
- To encourage higher density housing close to the Cranbourne Major Activity Centre.
- To create quality and diverse housing and lifestyle opportunities.
- To ensure that the Cranbourne Major Activity Centre can maintain its present role and aspiration to become a Metropolitan Activity Centre whilst serving the additional significant residential growth forecast for the area.
- To use the attraction of the Cranbourne Racecourse and Training Complex and Cranbourne Gardens to create a distinctive sense of place.
- To refurbish, expand and develop Cranbourne's spaces, places and programs to reflect population growth.
- To upgrade main roads/intersections and provide safer local streets, convenient bus services and a safe trail network.
- To provide for the diversion of regional and through traffic out of Cranbourne.
- To create strong links to Cranbourne from surrounding areas.

**21.15-3**--/--/---  
Proposed C275case**Strategies**

- Reinforce the identity, character, and sense of place of the older parts of residential Cranbourne and ensure new housing is complementary to these elements.
- Strengthen the established garden suburb environment, characterised by canopy trees, generous setbacks, a sense of openness and the dominance of the landscape setting.
- Support the designation of Cranbourne Major Activity Centre as a major activity centre and its development consistent with the *Cranbourne Major Activity Centre Structure Plan*.
- Encourage higher density residential development (i.e. 3-4 storeys) on well located sites within easy walking distance of the Cranbourne Major Activity Centre and public transport that respects the neighbourhood character, responds to the local landscape context, and minimises off-site amenity impacts.
- Provide for a full range of suburban housing opportunities throughout Cranbourne's residential areas, including well designed medium-density housing around activity centres and major open space.
- Encourage the expansion of the Cranbourne Home Restricted Retail Precinct south to the proposed Cranbourne Bypass Road (Linsell Boulevard).
- Encourage the upgrading of the significant racing and associated tourism facilities at the Cranbourne Racecourse and Training Complex.

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- Encourage the ongoing development of the Australian Garden and the associated tourism facilities at the Cranbourne Gardens.
- Discourage the establishment of uses that are incompatible with horse stabling activities within the designated horse stabling area identified on the Cranbourne Local Area Map.
- Ensure new horse stabling facilities, including the upgrade or expansion of existing facilities, do not adversely affect adjoining residential areas
- Ensure any application relating to land that has been filled within the Horse Stabling precinct identified on the Cranbourne Local Area Map be referred to the referral authority specified in Clause 66.04 or a schedule to that clause.
- Recognise, protect and enhance any areas of biodiversity significance within the surrounds of the Cranbourne Gardens.
- Encourage the sensitive siting and design of buildings in proximity to the Cranbourne Gardens to respond to its biological values, landscape quality and amenity.
- Create a suburban bushland and open space area under the major electricity transmission lines between Cranbourne-Frankston Road and Ballarto Road to act as an inter-suburban break between Cranbourne and Cranbourne West.
- Provide extensive boulevard planting along the main road network.
- Recognise uses with adverse amenity potential and prevent the encroachment of sensitive uses, until such time as any adverse off-site amenity impacts have been appropriately addressed or the activities creating the need for the buffers cease to operate.
- Seek to extend the electrification of the Cranbourne Railway line to Clyde.
- Upgrade Cemetery Road in the long-term to a collector road linking Ballarto Road with Sladen Street.
- Upgrade the standard of Ballarto Road between Cranbourne-Frankston Road and the entrance to the Cranbourne Gardens.

### 21.15-4

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Proposed C275case

### Implementation

These strategies will be implemented by the following measures:

#### Use of policy and the exercise of discretion

- Ensuring that the future use and development of land is generally in accordance with the Cranbourne Local Area Map.
- Using the Activity Centres Policy at Clause 22.01 to consolidate the role of the Cranbourne Major Activity Centre as a Major Activity Centre and to provide for the orderly development and expansion of the Camms Road, Cranbourne Place, Hotham Street, Lurline Street and Springhill Medium Neighbourhood Activity Centres.
- Using the Industrial Development Policy at Clause 22.03 to create an attractive and well maintained industrial area.

#### Application of zones and overlays

- Applying the Activity Centre Zone to land in the Cranbourne Major Activity Centre to implement the objectives and preferred use and development contained in the *Cranbourne Major Activity Centre Structure Plan*.
- Applying the Activity Centre Zone to existing residential land in the Cranbourne Major Activity Centre to identify areas for increased residential density and diversity of housing choice.



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- Applying the Activity Centre Zone, where appropriate, to land within the Cranbourne Major Activity Centre to provide for the use and development of the land in recognition of the centre's role as a Major Activity Centre activity centre under State Government Policy.
- Using the Activity Centre Zone in the Cranbourne Major Activity Centre to promote the development of signature and landmark buildings in strategic locations and gateways to create a positive image of the centre and the municipality.
- Applying the Commercial 1 Zone to activity centres with a primary retail function, including the Camms Road, Hotham Street and Lurline Street Local Neighbourhood Activity Centres and Springhill Medium Neighbourhood Activity Centre.
- Applying the Environmental Significance Overlay to identified buffer areas in the vicinity of the Cranbourne Gardens, to protect the ecological integrity, landscape values and amenity of the Gardens.
- Applying the Vegetation Protection Overlay to protect areas of significant remnant vegetation in the Brookland Greens estate.
- Applying the Heritage Overlay to heritage places of national, State and local significance, as identified in Council's relevant heritage studies and strategic work.
- Applying the Development Plan Overlay to provide for the integrated and orderly planning of future and developing residential areas, activity centres and other mixed use/commercial areas, as appropriate.
- Applying the Development Contributions Plan Overlay to future and developing residential areas to facilitate the timely delivery of appropriate transport, physical and community infrastructure.

### Further strategic work

- Preparing urban design guidelines to ensure that new development adds value to the preferred future character of the area.
- Undertaking a strategic review of future land use and development within the Cyril Beechey Lane precinct, as identified on the Cranbourne Local Area Map.

## 21.15-5

### Background documents

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Proposed C275case

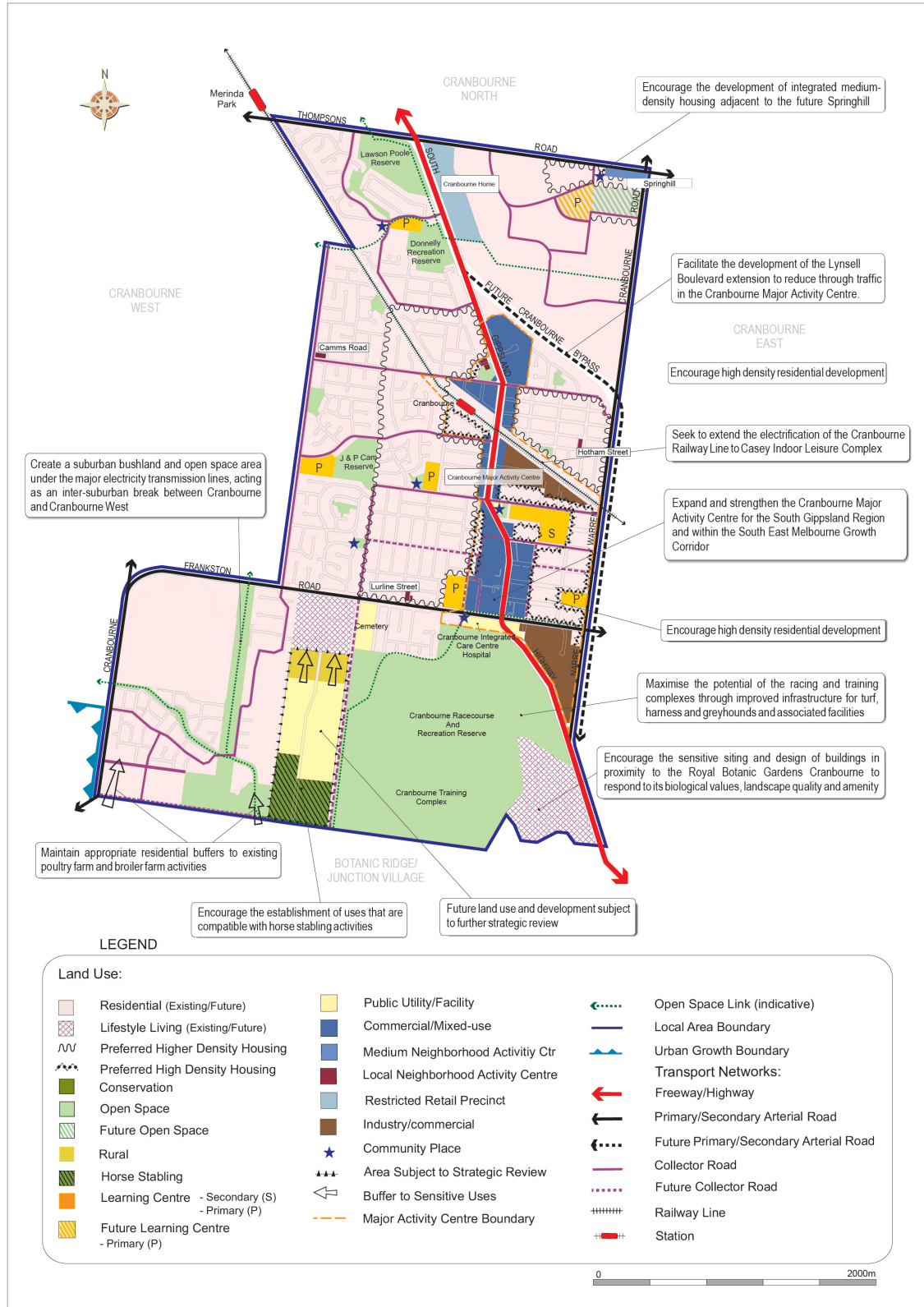
*Cranbourne Major Activity Centre Structure Plan, City of Casey, 2020.*

# CASEY PLANNING SCHEME

21.15-6

## Cranbourne Local Area Map

Proposed C275case



**21.16**04/04/2019  
C204**CRANBOURNE EAST****21.16-1**09/02/2017  
C250**Profile**

Cranbourne East is a quality, treed suburban environment with a country feel and benefiting from unique access to extensive parkland areas. It has strong links to Cranbourne, and easy access to a full range of employment, learning, shopping and community services.

**21.16-2**28/01/2021  
C258case**Objectives**

- To extend Cranbourne's treed image into Cranbourne East and establish links in the suburban area to the surrounding parkland and countryside.
- To provide strong links to Cranbourne with a focus on the Cranbourne Major Activity Centre for sub-regional and regional services and facilities.
- To create quality and diverse housing and lifestyle opportunities.
- To develop, expand and refurbish Cranbourne East's spaces, places and programs to reflect population growth.
- To upgrade main roads/intersections and provide safer local streets, convenient bus services and a safe trail network.
- To provide expansive parkland to service the region.

**21.16-3**---/---/---  
Proposed C275case**Strategies**

- Extend Cranbourne's green-treed country feel and character into the newer residential areas of Cranbourne East by encouraging extensive tree planting within streets, parks, public spaces and on private land, and by maintaining views and links through to open space and non-urban areas.
- Provide for a full range of suburban housing opportunities throughout the residential areas, including well designed and integrated medium density housing around activity centres and major open space, and larger lots where appropriate to improve diversity within the Cranbourne region.
- Maintain and enhance the residential streetscapes as a garden suburb environment, characterised by a quality and diverse built form in a landscaped setting.
- Encourage integrated medium-density housing opportunities adjacent to the future Cranbourne East Station.
- Maintain buffers and manage the interface of the residential areas with the existing abattoir and industrial activities along Thompsons Road, to protect the operation of existing uses and minimise loss of residential amenity.
- Encourage further development at the Casey Complex to reinforce its role as a major leisure, recreational, educational, community and mixed use precinct.
- Provide extensive boulevard planting along the main road network.
- Seek to extend the electrification of the Cranbourne Railway line to Clyde.
- Develop Linsell Boulevard as a new east-west arterial road linking Narre Warren-Cranbourne Road with Berwick-Cranbourne Road.
- Develop a new north-south arterial road (Casey Fields Boulevard) ultimately linking the proposed Glasscocks Road in the north with South Gippsland Highway and the Craig Road deviation in the south.
- Develop a new north-south collector road linking Linsell Boulevard, the Casey Complex, Berwick-Cranbourne Road and Ballarto Road.

- Upgrade Heather Grove to a collector road linking future suburban development east and west of the Collison Estate residential area.
- Facilitate the provision of appropriate primary and secondary school facilities, together with a number of local sports areas, to service the future community of Cranbourne East.
- Develop Casey Fields as a regional outdoor sports and recreation facility.

### 21.16-4

#### Implementation

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Proposed C275case

These strategies will be implemented by the following measures:

##### Use of policy and the exercise of discretion

- Ensuring that the future use and development of land is generally in accordance with the Cranbourne East Local Area Map.
- Using the Activity Centres Policy at Clause 22.01 to provide for the orderly development and expansion of activity centres.

##### Application of zones and overlays

- Applying the Activity Centre Zone to land within the Casey Complex and its surrounds to implement the objectives and preferred use and development contained in the *Cranbourne Major Activity Centre Structure Plan*.
- Applying the Commercial 1 Zone to activity centres with a primary retail function, including the Hunt Club Village Medium Neighbourhood Activity Centre and future activity centres.
- Applying the Green Wedge Zone to land located outside the urban growth boundary to reflect its non-urban status.
- Applying the Farming Zone to protect land within the urban growth boundary from inappropriate subdivision and/or development.
- Applying the Urban Growth Zone to undeveloped land designated for future urban purposes to manage the transition from non-urban to urban in accordance with a precinct structure plan.
- Applying the Environmental Significance Overlay to areas of identified environmental significance.
- Applying the Heritage Overlay to heritage places of national, State and local significance, as identified in relevant Council's heritage studies and strategic work.
- Applying the Development Plan Overlay to provide for the integrated and orderly planning of developing residential areas and activity centres, as appropriate.
- Applying the Development Contributions Plan Overlay to future and developing residential areas to facilitate the timely delivery of appropriate transport, physical and community infrastructure.

### 21.16-5

#### Background documents

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*Cranbourne Major Activity Centre Structure Plan*, City of Casey, 2020.

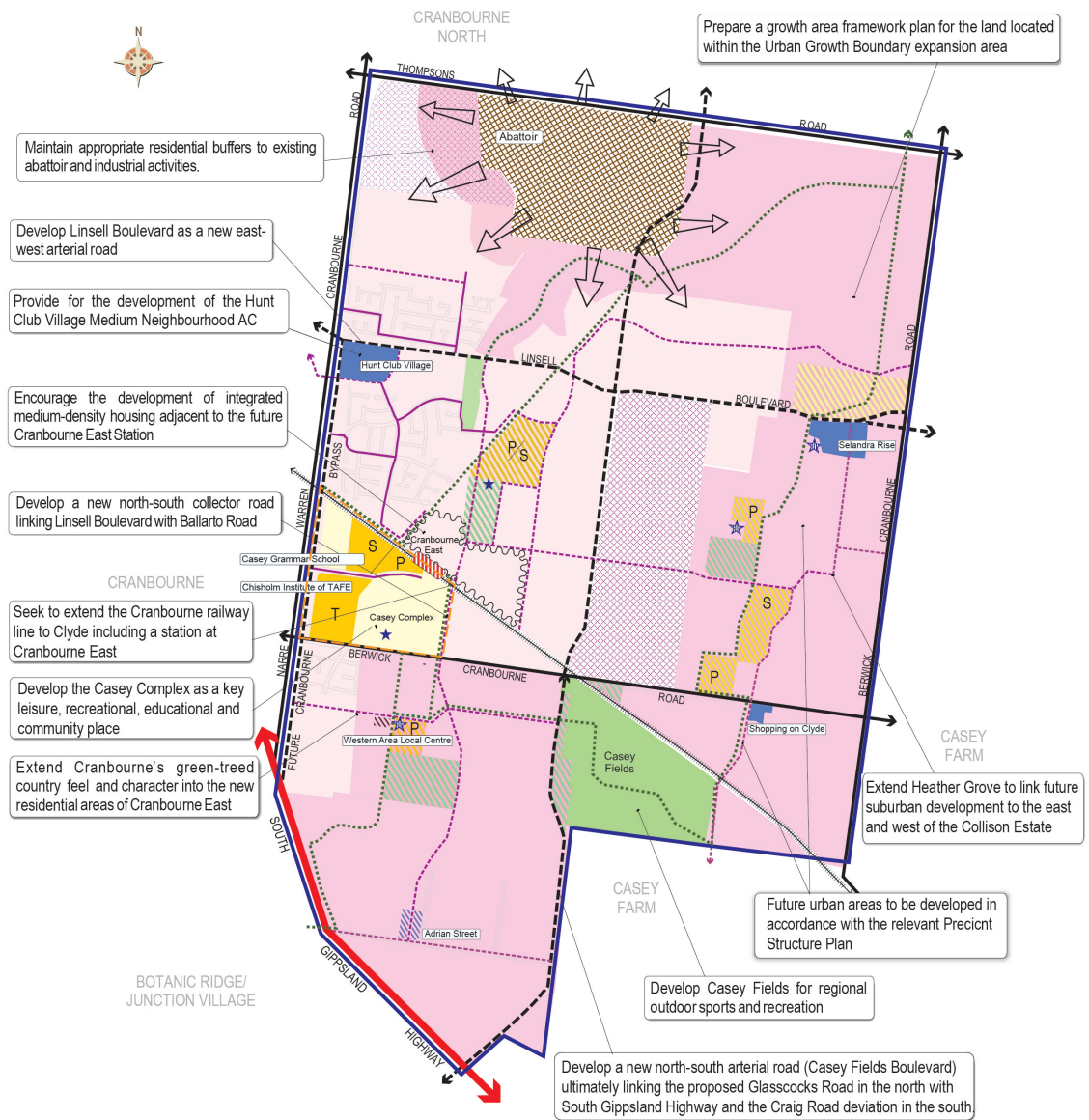
*Casey Complex Urban Design Framework*, City of Casey, 2019.

# CASEY PLANNING SCHEME

21.16-6

## Cranbourne East Local Area Map

Proposed C275case



### LEGEND

|                                    |  |  |
|------------------------------------|--|--|
| <b>Land Use:</b>                   | Future Learning Centre                 | Major Activity Centre Boundary         |
| Residential (Existing/Future)      | -Primary (P)                           | Local Area Boundary                    |
| Lifestyle Living (Existing/Future) | -Secondary (S)                         | <b>Transport Networks:</b>             |
| Preferred Medium Density Housing   | Public Utility/Facility                | Freeway/Highway                        |
| Future Urban                       | Future Public Utility/Facility         | Primary/Secondary Arterial Road        |
| Open Space                         | Future Med. Neighbourhood AC           | Future Primary/Secondary Arterial Road |
| Future Open Space                  | Future Local Neighbourhood AC          | Collector Road                         |
| Learning Centre                    | Rural Industry                         | Future Collector Road                  |
| -Primary (P)                       | Community Place                        | Railway Line                           |
| -Secondary (S)                     | Future Community Place                 | Future Station                         |
| -Tertiary (T)                      | Buffers to Sensitive Uses (Indicative) |  |
| Med. Neighbourhood Activity Ctr    | Open Space Link                        |  |

0 2000m



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## SCHEDULE 1 TO CLAUSE 37.08 ACTIVITY CENTRE ZONE

Shown on the planning scheme map as ACZ1.

### CRANBOURNE MAJOR ACTIVITY CENTRE

#### 1.0

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Proposed C275case

### Cranbourne Major Activity Centre Framework Plan



**2.0**

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Proposed C275case

**Land use and development objectives to be achieved****Use**

- To encourage uses which support the Cranbourne Major Activity Centre to become a more active, attractive and safe place for the community to live, work and socialise.
- To promote land use which is conducive to high levels of activity through the day and night in the non-residential precincts of the activity centre.
- To recognise the importance the Cranbourne Major Activity Centre plays in providing community services.

**Built form**

- To facilitate high quality building design and ensure development improves the image of the Cranbourne Major Activity Centre, including by ensuring building materials are attractive, durable and easy to maintain.
- To minimise the impact of non-residential development adjoining residential areas by including acoustic protection and landscape buffers
- To encourage finer grain commercial uses at ground level along street frontages.
- To avoid large freestanding signs and signs becoming a dominant feature in the streetscape by ensuring they are well-designed and integrated into the built form where possible.
- To avoid high and visually impermeable fencing along streets, laneways and public areas and where this cannot be avoided ensure fencing is attenuated with landscaping.
- To encourage development of land adjoining gateways and secondary gateway nodes that provides a sense of arrival, acts as a focal point and positively contributes to creating a contemporary character and improving the image of the Cranbourne Major Activity Centre.
- To avoid the underdevelopment of land which would limit its future development potential.

**Access and movement**

- To create a vibrant activity centre which is easy, comfortable and safe to get around for people of all ages and abilities.
- To prioritise and support sustainable transport modes to assist in providing a diversity of transport choices to and within the Cranbourne Major Activity Centre.
- To ensure that vehicle access, loading and parking is not a dominant feature of streetscapes.
- To reinforce east-west connections within the centre to increase priority to active transport modes and particularly accessibility to the residential area to the west.
- To reinforce Lyall Street as the primary east-west active and public transport link between the mixed-use commercial core and the Casey Complex and surrounds.
- To ensure the redevelopment of large sites improves accessibility by including pedestrian accessways.

**Culture and heritage**

- To minimise the impact of development within or adjoining areas of heritage significance through site-responsive design which retains view of the heritage site from adjoining public areas.

**Environment, landscape and open space**

- To encourage high quality landscape design.
- To ensure environmentally sustainable development principles and features are incorporated into development to reduce energy, water and waste impacts and manage stormwater runoff.

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- To create comfortable microclimates which improve the pedestrian environment by shading footpaths with awnings and tree canopy cover and incorporating vegetation into building facades.
- To create buildings which maximise natural light and ventilation and require minimal heating and cooling.
- To encourage green infrastructure such as water re-use, tree planting, vegetation incorporated into facade design and water-sensitive urban design.
- To enhance the landscape character of the Cranbourne Major Activity Centre by drawing on surrounding features such as the Cranbourne Gardens, Avenue of Honour, Cranbourne Racecourse and Recreation Reserve, boulevards and wide tree-lined streets and incorporate this into the design of public and private open space.
- To encourage the retention of existing mature vegetation.

### 3.0

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### Table of uses

#### Section 1 - Permit not required

| Use  | Condition   |
|--|---|
| <b>Accommodation (other than Camping and caravan park, Corrective institution, Dependent person's unit, Group accommodation, Host farm and Residential building)</b> | Must be in Precinct 1, 3 or 4.<br><br>In Precinct 1 or 4 any frontage at ground floor level must not exceed 2 metres.   |
| <b>Cinema</b>  | Must be in Precinct 1 or 2.   |
| <b>Cinema-based entertainment facility</b>   | In Precinct 2, the site must have access to, or adjoin, a road in a Road Zone.  |
| <b>Exhibition centre</b>   | Must be in Precinct 1 or 4.   |
| <b>Food and drink premises</b>   | Must be in Precinct 1, 2 or 4.<br><br>In Precinct 2 or 4 the leasable floor area must not exceed 100 square metres.   |
| <b>Industry (other than Materials recycling, Refuse disposal, Research and development centre, Rural industry, Service industry and Transfer station)</b>            | Must be in Precinct 2.<br><br>Must not be a purpose listed in the table to Clause 53.10 except boiler makers, bakery, small goods production and joinery.<br><br>Must not be a purpose listed in the table to Clause 53.10 with no threshold specified.<br><br>The land must be the following distance from land in Precinct 1, 2 or 4, in a residential zone, land used for a hospital, an education centre or a corrective institution or land in a Public Acquisition Overlay to be acquired for a hospital, an education centre or a corrective institution: <ul style="list-style-type: none"> <li>▪ The threshold distance, for a purpose listed in the table to Clause 53.10.</li> <li>▪ 30 metres, for a purpose not listed in the table to Clause 53.10.</li> </ul> Must not: <ul style="list-style-type: none"> <li>▪ Exceed a fire protection quantity under the Dangerous Goods (Storage and Handling) Regulations 2012.</li> </ul> |



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| Use  | Condition   |
|--|---|
|  | <ul style="list-style-type: none"> <li>Require a notification under the Occupational Health and Safety Regulations 2017.</li> <li>Require a license under the Dangerous Goods (explosives) Regulations 2011.</li> <li>Require a license under the Dangerous Goods (HCDG) Regulations 2016.</li> </ul> |
| <b>Informal outdoor recreation</b>   |   |
| <b>Major sport and recreation facility</b>   | Must be in Precinct 4.  |
| <b>Medical centre</b>  | <p>In Precinct 1, 2 or 4 any frontage at ground floor level must not exceed 2 metres except where the floor space adjoining the frontage is a customer service area accessible to the public.</p> <p>In Precinct 3 the gross floor area of all buildings must not exceed 250 square metres.</p>       |
| <b>Office (other than medical centre)</b>  | <p>Must be in Precinct 1 or 4.</p> <p>Any frontage at ground floor level must not exceed 2 metres, unless the office is a bank, real estate agency, travel agency, or other office where the space adjoining the frontage is a customer service area accessible to the public.</p>                    |
| <b>Place of worship</b>  | <p>Must be in Precinct 1 or 3.</p> <p>The gross floor area of all buildings must not exceed 250 square metres.</p> <p>In Precinct 3 the site must adjoin, or have access to, a road in a Road Zone.</p>   |
| <b>Postal agency</b>   | <p>In Precinct 3:</p> <ul style="list-style-type: none"> <li>The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land.</li> <li>The leasable floor area must not exceed 250 square metres.</li> </ul>                                  |
| <b>Racing dog husbandry</b>  | <p>Must be in Precinct 3.</p> <p>Must be no more than 2 animals.</p>  |
| <b>Research and development centre</b>   | <p>Must be in Precinct 1, 2 or 4.</p> <p>Any frontage at ground floor level must not exceed 2 metres except where the floor space adjoining the frontage is a customer service area accessible to the public.</p>   |
| <b>Restricted retail premises</b>  | Must be in Sub-precinct 1B or Precinct 2.   |
| <b>Retail premises (other than Food and drink premises, Gambling premises, Motor vehicle, boat or caravan sales, Postal agency and Shop)</b> |   |
| <b>Service industry</b>  | Must be in Precinct 2.  |

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| Use                                   | Condition   |
|---------------------------------------|---|
|                                       | Must not be a purpose listed in the table to Clause 53.10.  |
| <b>Shop</b>                           | <p>Must not be in Precinct 3.</p> <p>In Precinct 4 the combined leasable floor area must not exceed 250 square metres.</p> <p>In Precinct 2:</p> <ul style="list-style-type: none"> <li>▪ Must adjoin, or be on the same land as, a supermarket when the use commences.</li> <li>▪ The combined leasable floor area for all shops adjoining or on the same land as the supermarket must not exceed 500 square metres.</li> <li>▪ The site must adjoin, or have access to, a road in a Road Zone.</li> </ul> |
| <b>Supermarket</b>                    | <p>Must be in Precinct 1.</p> <p>The leasable floor area must not exceed 4000 square metres.</p>  |
| <b>Any use listed in Clause 62.01</b> | Must meet requirements of Clause 62.01.   |

### Section 2 - Permit required

| Use  | Condition   |
|--|---|
| <b>Adult sex product shop</b>  | <p>Must be in Precinct 1 or 2.</p> <p>Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from Precinct 3 or a residential zone, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.</p> |
| <b>Agriculture (other than Animal production, Animal training, Domestic animal husbandry, Horse husbandry, Racing dog husbandry, Rice growing and Timber production)</b> |   |
| <b>Bar</b>   | Must be in Precinct 1, 2 or 4.  |
| <b>Bottle shop</b>   | <p>Must be in Precinct 1 or 2.</p> <p>In Precinct 2, the site must adjoin, or have access to, a road in a Road Zone.</p>  |
| <b>Brothel</b>   | Must be in Precinct 1 or 2.   |
| <b>Camping and caravan park</b>  | <p>Must be in Precinct 1 or 4.</p> <p>Must be in conjunction with a food and drink premises.</p>  |
| <b>Car park</b>  | Must be in conjunction with another use in Section 1 or 2.  |
| <b>Car wash</b>  | In Precinct 3 or 4 must have access to a road in a Road Zone.   |

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| Use   | Condition  |
|---|--|
| <b>Caretaker's house</b>  |  |
| <b>Cinema</b>   | Must be in Precinct 2 or 4.  |
| <b>Cinema-based entertainment facility</b>  |  |
| <b>Dependent person's unit</b>  | Must be in Precinct 1, 3 or 4.   |
| <b>Domestic animal boarding</b>   | Must be in Precinct 1, 2 or 4.   |
| <b>Domestic animal husbandry (other than Domestic animal boarding)</b>  | In Precinct 3 must be no more than 5 animals.  |
| <b>Dry cleaning</b>   | Must be in Precinct 1, 2 or 4.   |
| <b>Dwelling (other than Caretaker's house)</b>  | Must be in Precinct 1, 3 or 4.   |
| <b>Education centre (other than Employment training centre and Tertiary institution)</b>  |  |
| <b>Exhibition centre</b>  | Must be in Precinct 3.   |
| <b>Extractive industry</b>  | Must be in Precinct 1, 2 or 4.   |
| <b>Employment training centre</b>   | In Precinct 3:   |
| <b>Food and drink premises (other than Bar and Hotel)</b>   | <ul style="list-style-type: none"> <li>The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land.</li> <li>The leasable floor area must not exceed 250 square metres.</li> </ul> |
| <b>Gambling premises</b>  | Must be in Precinct 1.   |
| <b>Hotel</b>  | Must be in Precinct 1, 2 or 4.   |
| <b>Industry (other than Materials recycling, Refuse disposal, Research and development centre, Rural industry, Service industry and Transfer station)</b> | <p>Must be in Precinct 1 or 4.</p> <p>Must not be a purpose listed in the table to Clause 53.10.</p>   |
| <b>Landscape gardening supplies</b>   | Must be in Precinct 1 or 4.  |
| <b>Leisure and recreation (other than Informal outdoor recreation, Major sports and recreation facility and Motor racing track)</b>                       |  |
| <b>Mail centre</b>  |  |
| <b>Major sport and recreation facility</b>  | Must not be in Precinct 1, 2 or 3.   |
| <b>Manufacturing sales</b>  | Must be in Precinct 1 and 4.   |
| <b>Market</b>   |  |
| <b>Materials recycling</b>  | Must be in Precinct 2.   |
| <b>Motor repairs</b>  |  |
| <b>Motor vehicle, boat or caravan sales</b>   | Must be in Precinct 2 or Sub-precinct 1B.  |

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| Use   | Condition  |
|---|--|
| <b>Office (other than Medical centre)</b>   | <p>In Precinct 3:</p> <ul style="list-style-type: none"> <li>▪ The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land.</li> <li>▪ The leasable floor area must not exceed 250 square metres.</li> </ul> |
| <b>Place of assembly (other than Cinema, Cinema-based entertainment facility, Exhibition centre and Place of worship)</b> | Must be in Precinct 1, 2 or 4.   |
| <b>Place of worship</b>   | In Precinct 2 the site must adjoin, or have access to, a road in a Road Zone.  |
| <b>Racing dog husbandry</b>   | In Precinct 3 must be no more than 5 animals.  |
| <b>Residential building (other than Residential hotel)</b>  | Must be in Precinct 1, 3 or 4.   |
| <b>Residential hotel</b>  | Must be in Precinct 1, 2 or 4.   |
| <b>Research and development centre</b>  | <p>In Precinct 3:</p> <ul style="list-style-type: none"> <li>▪ The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land.</li> <li>▪ The leasable floor area must not exceed 250 square metres.</li> </ul> |
| <b>Restricted retail premises</b>   | Must not be in Precinct 3.   |
| <b>Service station</b>  | <p>The site must not exceed 3,000 square metres.</p> <p>In Precinct 3:</p> <ul style="list-style-type: none"> <li>▪ The land must adjoin Precinct 1 or 2; or</li> <li>▪ The land must adjoin or have access to, a road in a Road Zone.</li> </ul>                        |
| <b>Store</b>  | In Precinct 3 must be a building, not a dwelling, and used to store equipment, goods, or motor vehicles used in conjunction with the occupation of a resident of a dwelling on the lot.  |
| <b>Supermarket</b>  | <p>Must be in Precinct 1, 2 or 4.</p> <p>In Precinct 2 or 4 the leasable floor area must not exceed 1,800 square metres.</p>   |
| <b>Tertiary institution</b>   | In Precinct 3:   |

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| Use   | Condition  |
|---|--|
|   | <ul style="list-style-type: none"> <li>The land must be located within 100 metres of land in Precinct 1, 2 or 4 and have the same street frontage as that land.</li> <li>The leasable floor area must not exceed 250 square metres.</li> </ul> |
| <b>Trade supplies</b>   | Must not be in Precinct 3.   |
| <b>Transport terminal</b>   | Must be in Precinct 1, 2 or 4.   |
| <b>Utility installation (other than Minor utility installation and Telecommunications facility)</b> |  |
| <b>Warehouse (other than Mail centre)</b>   | <p>Must be in Precinct 1, 2 or 4.</p> <p>Must not be a purpose listed in the table to Clause 53.10.</p>  |
| <b>Any other use not in Section 1 or 3</b>  |  |

### Section 3 – Prohibited

| Use   |
|---|
| <b>Animal production (other than Grazing animal production)</b> |
| <b>Animal training</b>  |
| <b>Corrective institution</b>                                   |
| <b>Horse husbandry</b>  |
| <b>Host farm</b>  |
| <b>Motor racing track</b>                                       |
| <b>Refuse disposal</b>  |
| <b>Rice growing</b>   |
| <b>Rural industry</b>   |
| <b>Sale yard</b>  |
| <b>Transfer station</b>   |
| <b>Timber production</b>  |

#### 4.0

--/--/---  
Proposed C275case

### Centre-wide provisions

#### 4.1

--/--/---  
Proposed C275case

### Use of land

A permit is not required to use land for the purpose of local government, provided the use is conducted by or on behalf of the public land manager.

#### 4.2

--/--/---  
Proposed C275case

### Subdivision

None specified.

**4.3**

--/--/----

Proposed C275case

**Buildings and works**

No permit is required to construct a building or construct or carry out works for the following:

- The installation of an automatic teller machine.
- The alteration of an existing building facade provided:
  - The alteration does not include the installation of an external roller shutter.
  - At least 80% of the building facade at ground floor is maintained as an entry or windows with clear glazing and the alteration does not include obstructing views into a premises including through the application of a film, covering or screening which is less than 75% visually transparent on or in close proximity to any clear glazing which forms part of the facade.
- An awning which projects over a road, if it is authorised by the relevant public land manager.
- Buildings and works for the purpose of local government, provided the use is conducted by or on behalf of the public land manager.
- Construct or carry out works normal to a dwelling.
- Construct one dependent person's unit on a lot. This exemption does not apply if there is already one or more dependent person's unit on the lot.
- Construct or extend an outbuilding (other than a garage or car port) associated with a dwelling provided the gross floor area does not exceed 10 square metres, the maximum building height is not greater than 3 metres above natural ground level and the gross floor area of all out buildings on the lot do not exceed 40 square metres.
- Extend one dwelling on a lot more than 300 square metres. This exemption does not apply to:
  - Extend a dwelling more than 40 square metres
  - Extend a dwelling if it is on common property
- Construct or extend a front fence within 3 metres of a street if the fence is associated with two or more dwellings on a lot or a residential building and the fence does not exceed the maximum height specified in Clause 55.06-2.

**4.4**

--/--/----

Proposed C275case

**Design and development**

The following design and development requirements apply to an application to construct a building or construct or carry out works:

**Dwellings and residential buildings**

On a lot less than 300 square metres, a development must meet the requirements of Clause 54 if it proposes to:

- Construct or extend one dwelling on a lot.
- Construct or extend a front fence within 3 metres of street if the fence is associated with one dwelling.

A development up to four storey, excluding a basement, must meet the requirements of Clause 55 if it proposes to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.

## CASEY PLANNING SCHEME

- Construct or extend a residential building.
- Construct or extend a front fence within 3 metres of a street if:
  - The fence is associated with two or more dwellings on a lot or a residential building.
  - The fence exceeds the maximum fence height specified in Clause 55.06-2.

Buildings and works should avoid the development of south-facing dwellings.

### Building height

Buildings and works should not exceed the preferred maximum building height specified in Clause 5 of this schedule. This does not apply to:

- Service equipment including plant rooms, lift overruns, solar collectors and other such equipment provided all of the following requirements are met:
  - The equipment does not exceed the preferred maximum building height by more than 2 metres.
  - No more than 50 percent of the roof area is occupied by the equipment.
  - The equipment is located to avoid additional overshadowing of adjoining properties and public space.
  - The equipment is designed to be concealed within the built form, where practical, or is screened and finished in a non-reflective material and colour to the satisfaction of the responsible authority.
- Where the slope at natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees and the preferred maximum building height is not exceeded by 1 metre.

A permit should not be granted to exceed the preferred maximum building height specified in Clause 5 of this schedule unless one or more of the following applies:

- The permit includes a condition (or conditions) requiring the landowner to enter into an agreement under section 173 of the *Planning and Environment Act 1987* for the provision of affordable housing which must provide the following:
  - The land owner must make a contribution towards affordable housing to the satisfaction of the responsible authority.
  - For the purposes of the agreement "affordable housing" is to have the meaning set out in the *Planning and Environment Act 1987*.
- The additional height supports the centre-wide objectives in Clause 2.0 of this schedule, precinct-objectives in Clause 5 of this schedule and the development is designed to achieve all of the following:
  - Avoid additional overshadowing of public or private open space (beyond that which would be generated by a proposal that complies with the specified height and setback requirements)
  - Floor-to-ceiling heights and floor-plate depths with adaptive re-use capabilities
  - The retention of existing mature vegetation (where applicable)
  - Avoid any adverse amenity impacts on adjoining sites within the Heritage Overlay (where applicable)
- The proposal incorporates an innovative design response that includes exemplary environmentally sustainable development principles, such as:
  - A significant reduction in carbon emissions including for whole of building life
  - Passive heating and cooling

## CASEY PLANNING SCHEME

- Maximising daylight through building siting and design
- Retention of existing mature vegetation (where applicable)

### **Building setbacks**

Buildings and works should be setback from the front, side and rear property boundaries as specified in the precinct provisions in Clause 5 of this Schedule.

Minor works such as verandahs, architectural features, balconies, shades, screens and artworks may be constructed within the setback areas specified in the precinct provisions in Clause 5 of this Schedule.

Where no side or rear setback is specified in Clause 5 of this Schedule and Clause 54 or 55 do not apply, buildings and works should be sufficiently setback to reasonably preserve the future development potential and provide for the reasonable amenity of adjoining properties having regard to solar access, daylight access, air circulation and walls on boundaries.

### **Access and mobility**

Development and buildings and works should be designed to provide equitable access for people of all abilities including by providing accessible entries at the principle front entry.

### **Site layout**

Development should be sited to make the most efficient use of land within the activity centre and oriented to maximise passive design opportunities.

### **Service equipment**

Service equipment including plant rooms, lift overruns, solar collectors, metre boxes and other equipment should be concealed within the built form. Where this is not practical it should be screened and finished in a non-reflective material which is not visually obtrusive and allows it to blend within the surrounding built form.



## 5.0

## Precinct provisions

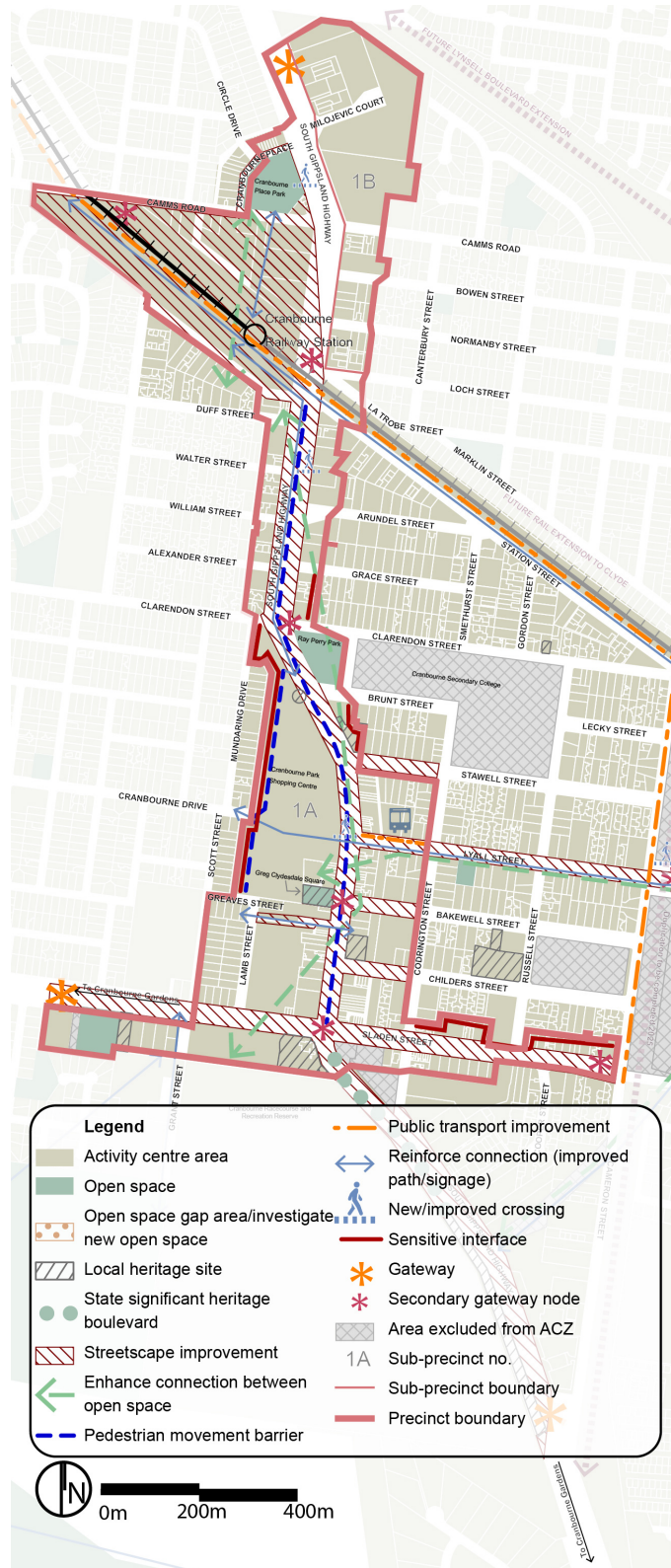
Proposed C275case

## 5.1

## Precinct 1 – Mixed-use commercial core

### 5.1-1

### Precinct map



### 5.1-2 Precinct Objectives

- Support a diversity of retail and commercial businesses which operate throughout the day and night to locate throughout the precinct with fine grain development along street frontages at ground floor level.
- Support residential development above ground floor retail or commercial uses, particularly near Cranbourne Railway Station, except for sub-precinct 1B.
- Improve pedestrian comfort and accessibility by encouraging active uses at ground floor level, encouraging passive surveillance and having clearly defined paths and entries, particularly for larger sites.
- Create and support an urban and civic heart around Greg Clydesdale Square. Establish complementary secondary plaza spaces around Bakewell Street and Lyall Street to prioritise pedestrians in public spaces and encourage activity.
- Improve connectivity between High Street and the residential area to the west.
- Facilitate placemaking opportunities which encourage temporary activities and events on vacant or underdeveloped public and private land, such as car parking.
- Manage and mitigate acoustic impacts from commercial uses and the Cranbourne Railway Line on new residential development within the precinct.
- Support Greg Clydesdale Square to become a more active, pleasant, safe and attractive community space.

### 5.1-3 Precinct requirements

|  |  |
|--|--|
| <b>Preferred maximum building height</b>   | 20 metres  |
| <b>Preferred front setback</b>             | 3 metres including landscaping where a permit is required for an accommodation use at ground level<br>0 metres for all other development |
| <b>Preferred street wall height</b>        | 11 metres  |
| <b>Preferred setback above street wall</b> | 3 metres   |
| <b>Preferred side and rear setback</b>     | 3 metres where a sensitive interface is identified or for land adjoining a residential zone  |

### 5.1-4 Precinct guidelines

- Buildings and works of 1,000 square metres or greater at Cranbourne Park Shopping Centre or at an existing at-grade car park should result in a net benefit to the activity centre by improving the appearance of adjoining streetscapes where works interface with a street and may include active transport links and amenities, and facade activation.
- Ensure that redevelopment near Cranbourne Railway Station provides new active transport links to the railway station.
- Encourage development with active uses that would provide passive surveillance adjoining public areas such as parks, squares and plaza spaces.
- Buildings and works at Cranbourne Park Shopping Centre should improve pedestrian accessibility to the residential areas to the west.
- Where no vegetation is able to be provided in a ground floor front setback, incorporate vegetation into the building facade design.

- Ensure buildings are appropriately set back from sensitive interfaces and include a landscape buffer which is at least 1 metre wide and capable of achieving adequate levels of solar access.
- New residential development or an intensification of existing residential development should include appropriate acoustic protection from surrounding non-residential uses.

### 5.1-5 Any other requirements

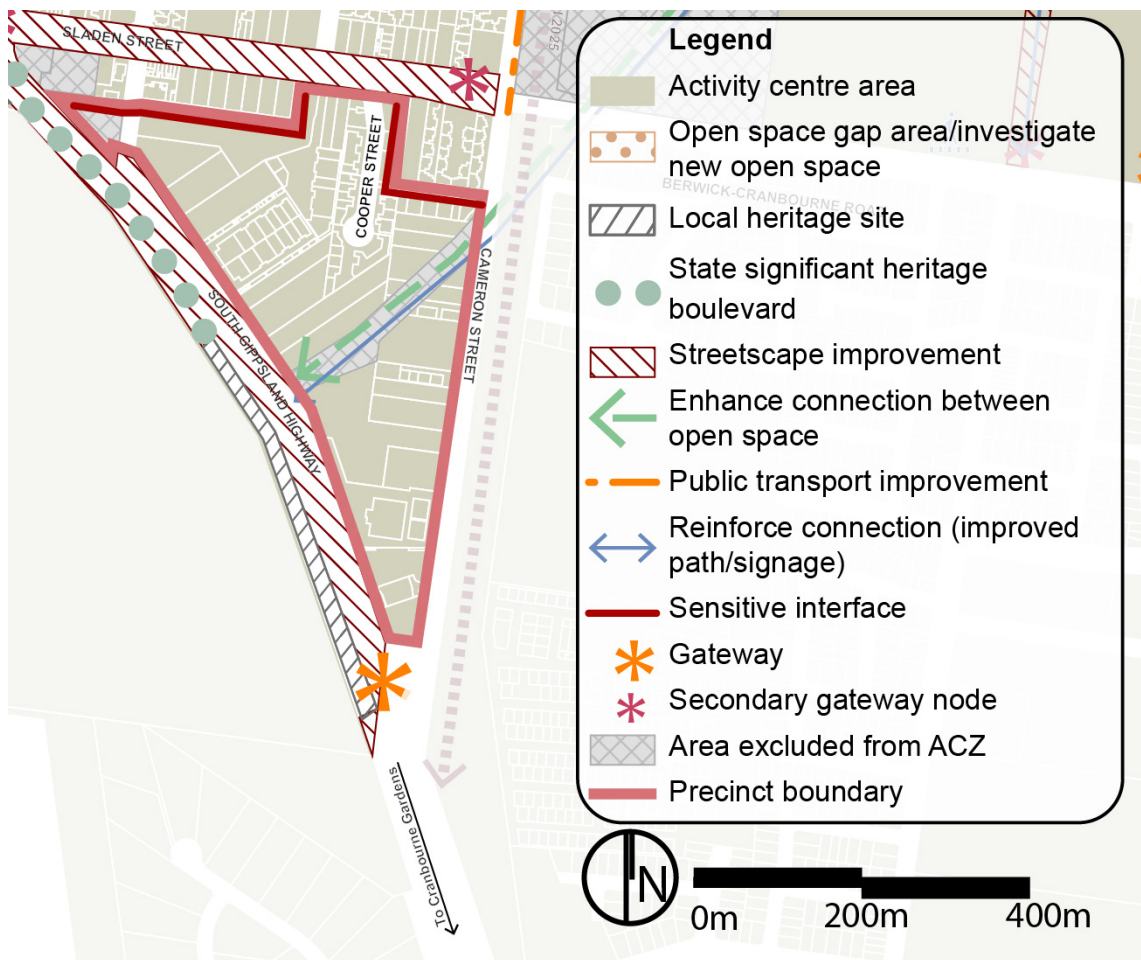
None specified.

## 5.2 Precinct 2 - Employment and services

### 5.2-1 Precinct map

#### 5.2-1 Precinct map





## 5.2-2

### Precinct objectives

- Support a broad-range of non-retail employment uses.
- Support a transition from industrial to more commercial-based industries.
- Improve interfaces with residential and other sensitive land uses and minimise off-site amenity impacts through siting, landscaping, engineering measures and building design.
- Create attractive streetscapes through landscaped front setbacks and attractive building design.

## 5.2-3

### Precinct requirements

|  |   |
|--|---|
| <b>Preferred maximum building height</b>   | 14 metres   |
| <b>Preferred front setback</b>             | 3 metres including a landscaped area which would allow tree planting  |
| <b>Preferred street wall height</b>        | 11 metres   |
| <b>Preferred setback above street wall</b> | 3 metres  |
| <b>Preferred side and rear setback</b>     | 3 metres including a landscaped area of at least 1 metre for land adjoining Precinct 3.<br>None specified for all other land. |

**5.2-3 Precinct guidelines**

- Commercial development should provide a high level of internal amenity including through the provision of common spaces such as courtyards, balconies or rooftops.
- Development associated with an industrial uses which adjoins Precinct 3 or a sensitive interface shown on the precinct map should address potential adverse amenity impacts and include appropriate measures such as landscaping, acoustic treatments, engineering and building siting and design to minimise impacts.
- Encourage office and commercial development along Sladen Street and South Gippsland Highway.
- Ensure buildings are appropriately setback from sensitive interfaces and include a landscape buffer which is at least 1 metre wide and capable of achieving adequate levels of solar access.

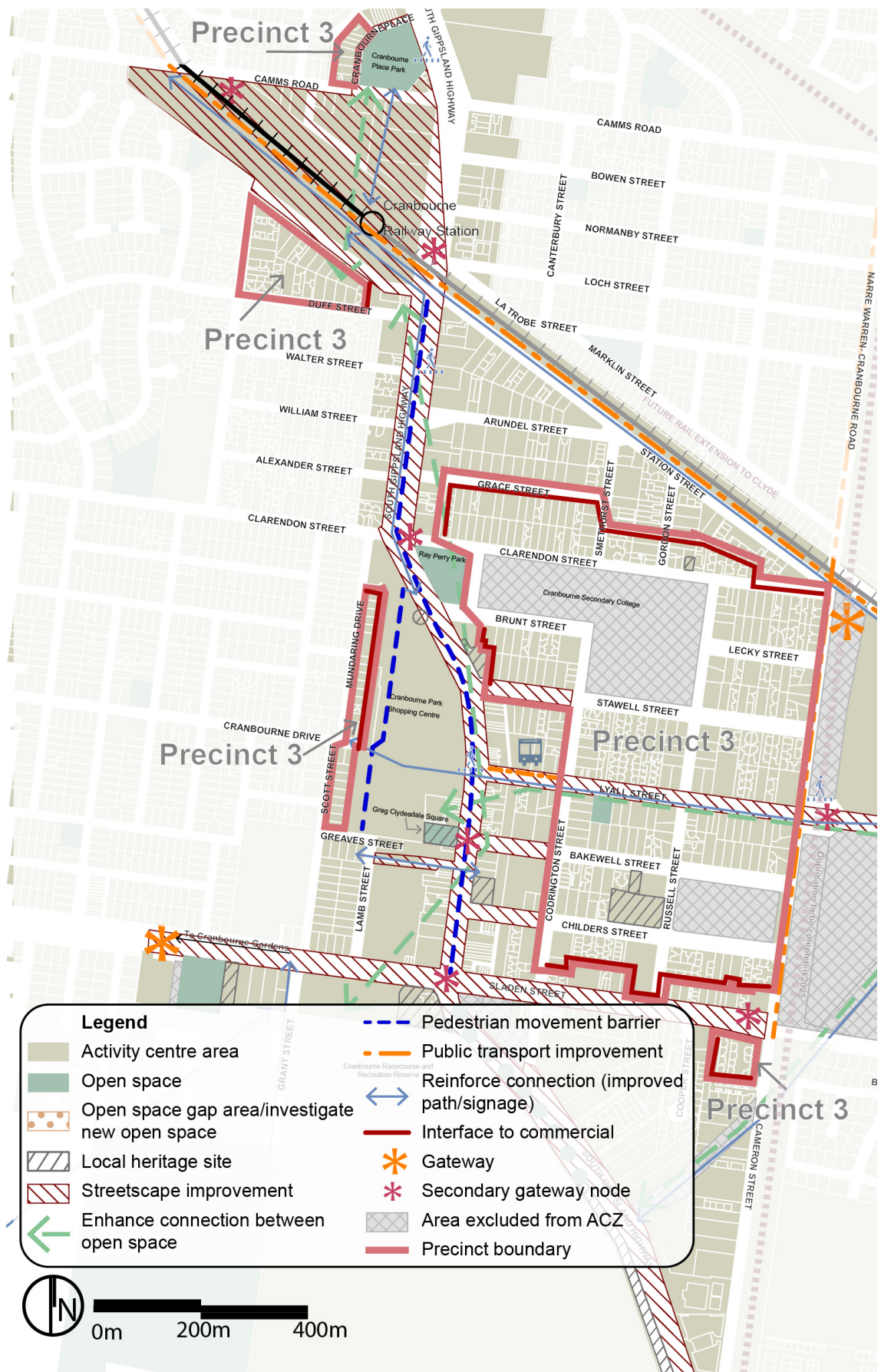
**5.2-5 Any other requirements**

None specified



## 5.3 Precinct 3 - Residential growth

### 5.3-1 Precinct map



### 5.3-2 Precinct objectives

- Encourage a diversity of housing in terms of lot size, number of bedrooms and tenure.
- Limit non-residential uses within the precinct except for where they are near another precinct and address a local need.
- Create landscaped front setbacks which contribute positively to the streetscape and provide a clear delineation between public and private space.
- Avoid garages and parking structures dominating the streetscape by locating them to the side or rear of buildings and ensuring private vehicle access is integrated within the building design.
- Encourage site layout and building massing which preserves the future development potential of adjoining land.

### 5.3-3 Precinct requirements

|  |                |
|--|----------------|
| <b>Preferred maximum building height</b> | 14 metres      |
| <b>Preferred front setback</b>           | 5 metres       |
| <b>Preferred side and rear setbacks</b>  | None specified |

Development should provide one medium canopy tree capable of reaching a height of 7 metres at maturity in the front setback.

### 5.3-4 Precinct guidelines

- Avoid south-facing habitable rooms and where this cannot be avoided, design solutions such as light courts, sky lights and natural ventilation should be implemented to allow for maximum solar access and air circulation.
- Increase housing diversity by seeking to achieve a target of 60 percent one bedroom dwellings and 30 percent two bedroom dwellings in new development.
- Balconies which comprise a dwelling's primary secluded private open space should have a minimum depth of 3 metres and be free of clothes lines, air-conditioning units and other services. Where this cannot be avoided, these items should be screened or concealed within the built form and the area they occupy be excluded from the overall quantum of private open space provided.
- Avoid parking structures within the front setback.
- Tree planting and landscaping in the front, side and rear setbacks is encouraged to soften the appearance of built form.
- Solid front fences and primary ground level secluded private open spaces in the front setback are discouraged.
- New residential development or an intensification of existing residential development adjoining Precinct 1 or 2 should include appropriate acoustic protection from existing non-residential uses.
- Non-residential uses may be included as part of an apartment development where there are minimum on and off-site adverse amenity impacts.
- Discourage stand-alone non-residential uses unless off-site amenity impacts can be minimised.

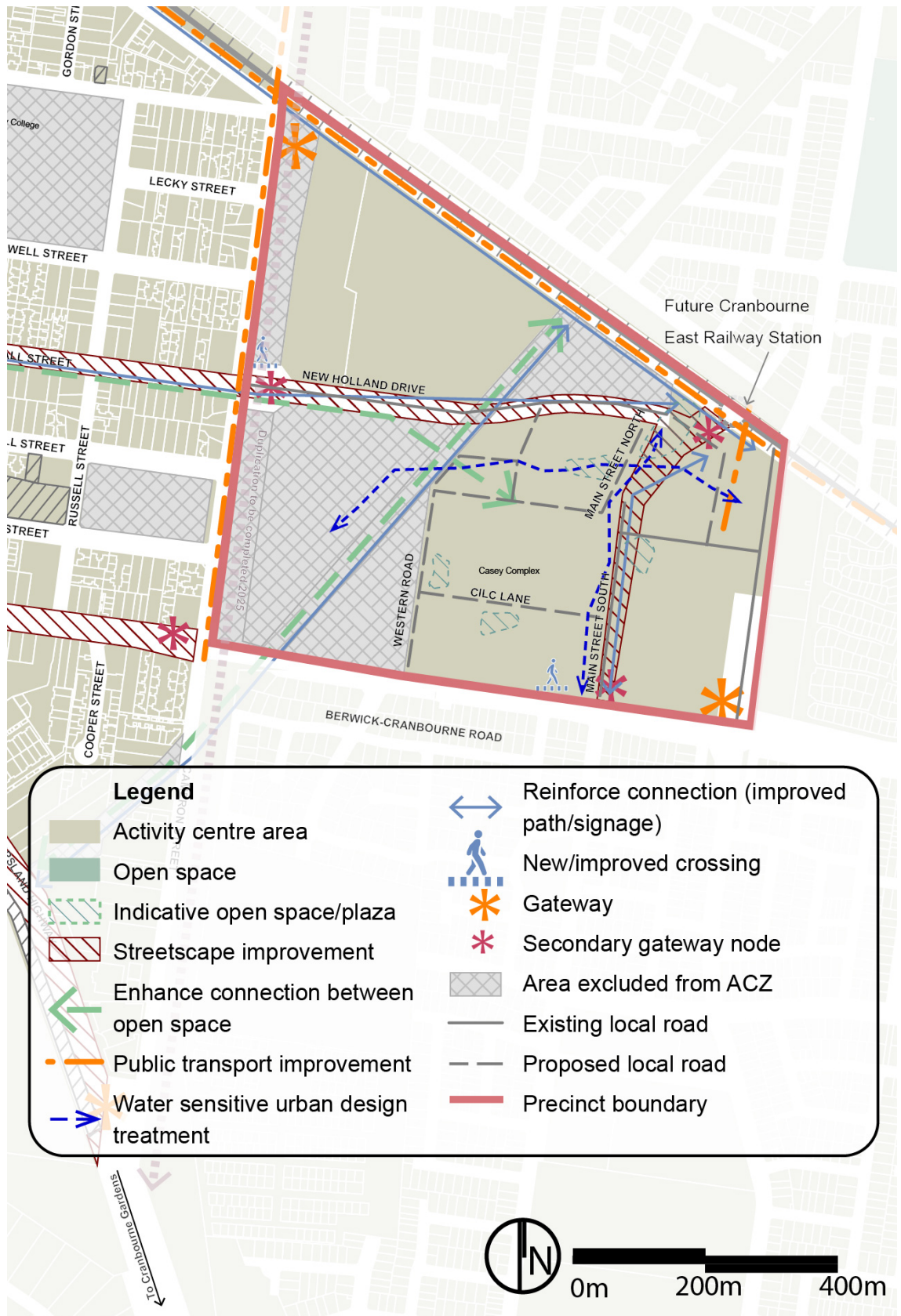
**5.3-5 Any other requirements**

None specified.



## 5.4 Precinct 4 - Casey Complex and surrounds

### 5.4-1 Precinct map



#### 5.4-2 Precinct objectives

- Support mixed-use transit-oriented development, including residential and commercial uses in proximity to the future Cranbourne East Railway Station and adjoining gateways and secondary gateway nodes.
- Ensure the future Cranbourne East Railway Station and grade separation responds appropriately to its surrounds through its siting and designed.
- Create improved connections within and to the Casey Complex.
- Incorporate water-sensitive urban design principles and integrated water management into new development, including landscape design.
- Create public spaces which are enjoyable and functional to navigate through and linger in by appropriately designing building interfaces and locating parking so that built form and parking structures are not visually dominant.
- Ensure community buildings and services are located with good access to public space.
- Support the expansion of community and recreation activities and services in an integrated and coordinated manner.
- Improve the Berwick-Cranbourne Road interface of the Casey Complex through the development of new and expanded buildings.
- Develop the Casey Complex street network with a hierarchy of roads and ensure the sequencing of development provides for efficient interim and ultimate access to and between lots and throughout the precinct.
- Develop a central plaza and Main Street which connects all facilities and activities.

#### 5.4-3 Precinct requirements

|  |                |
|--|----------------|
| <b>Preferred maximum building height</b>   | 20 metres      |
| <b>Preferred front setback</b>             | 0 metres       |
| <b>Preferred street wall height</b>        | 11 metres      |
| <b>Preferred setback above street wall</b> | 3 metres       |
| <b>Preferred side and rear setback</b>     | None specified |

#### 5.4-4 Precinct guidelines

- Development and external alterations and additions to existing buildings fronting streets and public spaces should provide active interfaces, be of high architectural quality and provide weather protection for pedestrians.
- Prioritise pedestrian movement and active transport through the central plaza and Main Street by providing weather protection, wide footpaths, separated cycle lanes and attractive landscaping.
- Locate parking so that it is away from the Main Street and is convenient to access from facilities and the surrounding road network.
- Develop active frontages along Berwick-Cranbourne Road to support the development of the Casey Complex as a transit-oriented precinct.
- Improve legibility and wayfinding through the Casey Complex by establishing a local street network complemented by signage, lighting and designated pedestrian and cycle paths.

5.4-5

**Any other requirements**

- Subdivision and development should provide for the development of the local road network generally in accordance with the requirements below and to the satisfaction of the responsible authority:
  - The provision of a 19 metre road reserve for CILC Lane comprised of a dual carriageway and on-street parking with tree outstands and a footpath on both sides of the carriageway.
  - The provision of a 34 metre road reserve for Main Street North comprised of a through-traffic lane, bus bay, area for bus shelters, bike hoops and associated transit infrastructure, an off-road cycle lane and a footpath on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
  - The provision of a 29 metre road reserve for Main Street South comprised of a through-traffic lane, on-street parking, a landscaped buffer to protect an off-road cycle lane and a footpath capable of accommodating outdoor dining/seating areas on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
  - The provision of a 30.4 metre road reserve for New Holland Drive East comprised of a dual carriageway and a bus bay, area for bus shelters, bike hoops and associated transit infrastructure, an off-road cycle lane and footpath on either side of the carriageway.
  - The provision of a 30.4 metre road reserve for New Holland Drive West comprised of a through-traffic lane, on-street parking with tree outstands, a landscaped buffer protecting an off-road cycle lane and a footpath on either side of a central landscaped median with water sensitive urban design treatments and tree planting.
  - The provision of a 23.4 metre road reserve for Western Road comprised of a dual carriageway and on-street parking, a landscaped buffer to protect an off-road cycle lane and a footpath on either side of the carriageway.

6.0

**Application requirements**

--/--/---  
Proposed C275case

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority.

**Use**

An application to use land must specify how it is consistent with and achieves the centre-wide and precinct objectives and guidelines in Clause 5 of this schedule.

**Buildings and works**

An application to construct a building or construct or carry out works must be accompanied by the following information:

- A statement which explains how a development makes efficient use of land and reasonably preserves the future development potential of adjoining land.
- For the construction of new dwellings in buildings of four storeys or less, an assessment against the relevant provisions of Clause 54 or Clause 55.
- An arboricultural assessment prepared by a suitably qualified professional where it is proposed to remove a tree of 5 metres or greater and a trunk diameter of 0.3 metres or greater at 1.2 metres above ground level. This requirement does not apply to environmental weed species.
- Evidence that the proposal is capable of achieving a 25 percent annual reduction in storm water runoff having regard to the provisions of clause 53.18.

## CASEY PLANNING SCHEME

- For residential development in Precinct 1, 3 (where the site adjoins Precinct 1 or 2) and 4 an acoustic assessment prepared by a suitably qualified professional demonstrating how the proposal includes appropriate noise attenuation measures to reasonably protect the amenity of future residents from nearby commercial or industrial uses.
- An application for development up to four storeys should include and an application for development of four or more storeys must include a 3D model which shows:
  - The potential overshadowing impact of the development on the open space and habitable rooms of adjoining properties and within the proposed development and how the design of the development minimises overshadowing impacts and ensures maximum solar access internally for dwellings, to neighbouring properties and public spaces.
  - The potential overshadowing impact of the development on public spaces adjoining the proposal, ensuring that overshadowing of boulevards, heritage sites, parks and other public open space is minimised. Reasonable solar access should also be maintained to the ground floor of buildings opposite in winter, where practical.
- For a staged development, a masterplan which includes future indicative built form and likely uses for the balance of the land.
- For an application which exceeds the preferred maximum building height specified in clause 5 of this schedule, a statement which demonstrates how the proposal addresses the additional building height criteria at clause 4.4 of this schedule.
- For an application which exceeds the preferred maximum building height specified in clause 5 of this schedule because it incorporates an innovative design response that includes exemplary environmentally sustainable development principles, the following, as relevant:
  - A report prepared by a suitably qualified individual which demonstrates that the building achieves a significant reduction in carbon emissions including whole of building life and embodied carbon.
  - A report prepared by a suitably qualified individual which may include plans, sections and construction details and demonstrates that the development has been designed with passive heating and cooling principles in mind and will have a significantly lower reliance on mechanical heating and cooling.
  - A daylight modelling report prepared by a suitably qualified individual that demonstrates how the development is sited and designed to maximise daylight penetration and minimise the need for artificial lighting throughout the day based on lighting requirements of different living and working spaces.
  - An arboricultural assessment and tree management plan or construction management plan, prepared by a suitably qualified individual that demonstrates any mature tree(s) being retained is/are of high value and buildings and works will not unreasonably impact the health of the tree(s).
- For developments of 3-9 dwellings and all non-residential development with a gross floor area between 500 square metres and 1,000 square metres, a Sustainable Design Assessment which includes:
  - A simple assessment of the development, which may use tools such as the Built Environment Sustainability Scorecard (BESS) or Stormwater Treatment Objective-Relative Measure (STORM) or an equivalent assessment approach to the satisfaction of the responsible authority; and
  - The identification of environmentally sustainable development measures proposed which considers the site's opportunities and constraints.
- For the development of 10 or more dwellings and all non-residential development with a gross floor area greater than 1,000 square metres, a Sustainability Management Plan which includes:

- A detailed assessment of building energy management, water sensitive urban design features, construction materials, indoor environment quality, waste management and transport which may use relevant tools such as BESS, STORM, Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or Green Star or an alternative assessment approach to the satisfaction of the responsible authority; and
  - The identification of achievable environmental performance outcomes, having regard to the site's opportunities and constraints, documentation of the means by which the outcomes can be achieved and demonstration that the building has the design potential to achieve the outcomes; and
  - A Green Travel Plan.
- In addition to the Sustainable Management Plan specified above, a development with a gross floor area greater than 5,000 square must demonstrate it has the ability to achieve a 5-star rating or above under a current version of the Green Star rating tool or equivalent.
  - For all mixed use development, the above requirements for a Sustainable Design Assessment or Sustainable Management Plan apply as they relate to each use.

The above Environmentally Sustainable Design application requirements will expire if and when they are superseded by an equivalent application requirement in a Victoria Planning Provision.

### 7.0

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Proposed C275case

#### Notice and review

The following applications are not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act:

- An application to construct a building or construct or carry out works that exceed the preferred height or encroach into the preferred setback requirements contained in Clause 5.0 of this schedule and which does not meet the additional building height criteria in Clause 4.4 of this schedule.
- An application to use land or to construct a building or construct or carry out works in Precinct 1 or 2 within 30 metres of Precinct 3, a residential zone, land used for a hospital, a primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.
- An application to use land or construct a building or construct or carry out works in Precinct 3.

### 8.0

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Proposed C275case

#### Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

##### Use

- For a staged development, whether a future indicative use for the balance of the land is nominated in a site masterplan or similar.

##### Subdivision

- Whether an application to subdivide land is accompanied by a suitable development proposal that achieves the centre-wide objectives in Clause 2.0 and the precinct objectives in Clause 5.0 of this schedule.

## CASEY PLANNING SCHEME

- Whether the future development potential of the land is unreasonably constrained by the proposed subdivision.
- Whether the proposed subdivision makes a contribution towards creating a permeable pedestrian and cyclist movement network.

### Design and built form

- The extent to which a proposal addresses and achieves the centre-wide objectives in Clause 2.0 and the precinct objectives in Clause 5.0 of this schedule.
- The extent to which the proposal makes efficient use of land and allows for the reasonable future development potential of adjoining land.
- Whether an application meets the additional building height criteria at Clause 4.4 of this schedule where it exceeds the preferred maximum building height specified in Clause 5 of this schedule.
- Whether a proposal is designed to enable a change in use over time to support the Cranbourne Major Activity Centre to become more resilient to changes in the social, physical and economic environment.
- Whether a proposal contributes to the Cranbourne Major Activity Centre being a more active and vibrant place.
- Whether a proposal contributes to making the Cranbourne Major Activity Centre more sustainable by including vegetation where possible and incorporating environmentally sustainable design features.

### 9.0

--/--/---  
Proposed C275case

### Signs

Sign requirements are at Clause 52.05. All land located within Precinct 1 and 4 is in Category 1, all land located within Precinct 2 is in Category 2 and all land in Precinct 3 is in Category 3.

### 10.0

--/--/---  
Proposed C275case

### Other provisions of the scheme

None specified.

### 11.0

--/--/---  
Proposed C275case

### Reference documents

*Casey Complex Urban Design Framework* (City of Casey, 2019)

*Cranbourne Major Activity Centre Structure Plan* (City of Casey, 2020)

--/--/----  
Proposed C275case

## **SCHEDULE 2 TO CLAUSE 45.09 PARKING OVERLAY**

Shown on the planning scheme map as **PO2**.

### **CRANBOURNE MAJOR ACTIVITY CENTRE**

#### **1.0 Parking objectives to be achieved**

--/--/----  
Proposed C275case

Avoid parking dominating the streetscape by locating it to the side or rear of new development.

Require access to parking areas and loading and service access located within parking areas to be clearly signed to avoid unnecessary vehicle circulation.

Avoid the provision of at-grade car parking, where it is provided, ensure parking layouts are designed so they can be shared across sites.

Avoid reliance on on-street or other publicly accessible parking to address demand generated by a new use or an intensification of an existing use.

Design parking structures (excluding basements or garages integrated within a dwelling or residential building and carports) with adaptive re-use capabilities including a minimum floor to ceiling height of 3 metres.

#### **2.0 Permit requirement**

--/--/----  
Proposed C275case

The requirements of Clause 52.06-3 apply.

#### **3.0 Number of car parking spaces required**

--/--/----  
Proposed C275case

The *Rate* in Column B of Table 1 in Clause 52.06-5 applies.

#### **4.0 Application requirements and decision guidelines for permit applications**

--/--/----  
Proposed C275case

None specified.

#### **5.0 Financial contribution requirement**

--/--/----  
Proposed C275case

None specified.

#### **6.0 Requirements for a car parking plan**

--/--/----  
Proposed C275case

None specified.

#### **7.0 Design standards for car parking**

--/--/----  
Proposed C275case

None specified.

#### **8.0 Decision guidelines for car parking plans**

--/--/----  
Proposed C275case

None specified.

#### **9.0 Background document**

--/--/----  
Proposed C275case

*Cranbourne Major Activity Centre Structure Plan* (City of Casey, 2020)

*Cranbourne Town Centre Movement and Access Strategy* (GTA Consultants, 2017)

25/07/2019  
C224case**SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY****1.0**17/01/2019  
C221Pt1**Application requirements**

None Specified.

**2.0**---/---/---  
Proposed C275case**Heritage places**

The requirements of this overlay apply to both the heritage place and its associated land.

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO1        | "Roads End"<br>198-238 Beaumont Road, Berwick   | Yes                            | No                                  | Yes                  | Yes  | No   | No                         | No                         |
| HO2        | Nerre Nerre Warren (Dandenong Police Paddocks)<br>Churchill Park Drive, Endeavour Hills | -                              | -                                   | -                    | -  | Yes<br>Ref:<br>H2348   | Yes                        | Yes                        |
| HO3        | "The Springs"<br>2 Stockyard Court, Narre Warren South                                  | Yes                            | Yes                                 | Yes                  | Yes  | No   | No                         | No                         |
| HO4        | "Edrington"<br>6 Melville Park Drive, Berwick   | -                              | -                                   | -                    | -  | Yes<br>Ref:<br>H653  | Yes                        | No                         |
| HO5        | "Springfield Homestead" and The Old Cheese Factory<br>34-66 Homestead Road, Berwick     | Yes                            | Yes                                 | Yes                  | Yes  | No   | No                         | No                         |
| HO7        | Narre Warren North Primary School   | Yes                            | No                                  | No                   | Yes  | No   | No                         | No                         |



# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply?                          | Tree controls apply?   | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|--|--|--|--|----------------------------|----------------------------|
|            | 15-31 A'Beckett Road, Narre Warren North  |                                |  |  |  |  |                            |                            |
| HO8        | "Wallerview"<br>101 A'Beckett Road, Narre Warren North  | Yes                            | No   | No   | Yes  | No   | No                         | No                         |
| HO10       | Uniting Church<br>1-13 Main Street, Narre Warren North  | Yes                            | Yes  | No   | Yes  | No   | No                         | No                         |
| HO11       | Dwelling (former post office and store)<br>15 Main Street, Narre Warren North   | Yes                            | No   | No   | Yes  | No   | No                         | No                         |
| HO13       | "Balla Balla"<br>1300 Baxter-Tooradin Road, Cannons Creek   | Yes                            | No   | Yes  | No   | No   | No                         | No                         |
| HO14       | "Fisherman's Cottage"<br>13 Mickle Street, Tooradin   | Yes                            | Yes  | Yes  | No   | No   | No                         | No                         |
| HO15       | "Tooradin Estate"<br>300 Lynes Road, Tooradin   | Yes                            | No   | Yes  | No   | No   | No                         | No                         |
| HO16       | "St Germain's"<br>95 McCormacks Road, Clyde North   | Yes                            | No   | Yes  | No   | No   | Yes                        | No                         |
| HO17       | Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former)<br>156-160 Sladen Street, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former), August 2020</i> | Yes                            | Yes - Cranbourne Shire Offices, Public Hall, Court House and | Yes - Norfolk Island Pines, Flowering Gums and Willow Myrtle trees | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply?   | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|--|--|--|----------------------------|----------------------------|
|            |   |                                | Post Office building (former) only  |  |  |  |                            |                            |
| HO18       | St John the Evangelist Church of England Complex<br>27-31 Childers Street, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: St John the Evangelist Church of England Complex, August 2020</i> | No                             | No                                  | Yes - Turkey Oak tree and Red Oak tree to west of the church | No   | No   | No                         | No                         |
| HO20       | "Isles View"<br>40 Bayview Road, Tooradin   | Yes                            | No                                  | Yes  | No   | No   | No                         | No                         |
| HO21       | "Quilly Park" (former)<br>Part 55 Craigs Lane, Pearcedale<br><b>Statement of significance:</b><br><i>Statement of Significance: 'Quilly Park', November 2020</i>  | No                             | No                                  | No   | No   | No   | No                         | No                         |
| HO22       | Lyndhurst Primary School (former)<br>310 Dandenong-Hastings Road, Lyndhurst   | Yes                            | Yes                                 | Yes  | No   | No   | No                         | No                         |
| HO24       | Rusty Gum Myrtle tree<br>South side of Reserve Street, near corner Gloucester Avenue, Berwick   | No                             | No                                  | Yes  | No   | No   | No                         | No                         |
| HO25       | Rusty Gum Myrtle tree<br>Near Clyde Road intersection with Reserve Street, Berwick  | No                             | No                                  | Yes  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply?  | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|---|--|--|----------------------------|----------------------------|
| HO26       | Row of Oak trees<br>North side of Princes Highway, Narre Warren   | No                             | No                                  | Yes   | No   | No   | No                         | No                         |
| HO27       | Narre Warren North Avenue of Honour<br>Memorial Drive and Main Street, Narre Warren North   | No                             | No                                  | Yes   | No   | No   | No                         | No                         |
| HO28       | Cardinia Creek Area<br>Between Inglis Road, Berwick and Chadwick Road, Harkaway   | No                             | No                                  | Yes   | No   | No   | No                         | No                         |
| HO29       | Berwick Post Office and Courthouse (former)<br>102-104 High Street, Berwick and 1 Gloucester Avenue, Berwick  | Yes                            | Yes                                 | No  | Yes  | No   | No                         | No                         |
| HO30       | Berwick Inn<br>1-9 High Street, Berwick   | Yes                            | No                                  | Yes   | No   | No   | No                         | No                         |
| HO32       | “Kilfera”<br>76-80 King Road, Harkaway<br>The heritage place comprises:<br><i>Mud and timber homestead and land within 10 metres of the perimeter of the dwelling, and Cupressus macrocarpa trees and land beneath and beyond the canopy edge, if within the property boundary, for a distance of five metres from the canopy edge or to the property boundary.</i> | No                             | No                                  | Yes - Lily Pilly, Holly and the Windrow of Cupressus macrocarpa | No   | No   | No                         | No                         |
| HO33       | “Cloverdale Cottage”<br>4/324 Hallam North Road, Lysterfield South  | No                             | No                                  | Yes   | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | The heritage place comprises:<br><i>Cloverdale Cottage and land within 10 metres of the perimeter of the cottage.</i>  |                                |                                     |                      |  |  |                            |                            |
| HO34       | “Aranmore”<br>Part 19-21 Aranmore Crescent and part 94W<br>Crawley Road, Narre Warren North  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO35       | The Studio<br>7-13 Baker Road, Harkaway  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO36       | “Burnbank”<br>64-72 Beaumont Road, Berwick   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO37       | “Beaumont Farm”<br>115-129 Beaumont Road, Berwick<br>The heritage place comprises:<br><i>Beaumont Farm farmhouse and land within 10 metres of the perimeter of the building, the driveway and land within five metres of the driveway.</i> | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO38       | Mary Blackwood House<br>76-80 Brisbane Street, Berwick   | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO39       | St Margaret’s School<br>27-47 Gloucester Avenue, Berwick<br>The heritage place comprises the following buildings:<br>▪ <i>Kippenross;</i>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <ul style="list-style-type: none"> <li>▪ <i>Campbell House;</i></li> <li>▪ <i>the Doll's House;</i></li> <li>▪ <i>the Cottage; and,</i></li> <li>▪ <i>Gloucester House.</i></li> </ul> <p>The heritage place also comprises:</p> <ul style="list-style-type: none"> <li>▪ <i>Four English Elm trees (Ulmus procera) west of the Cottage;</i></li> <li>▪ <i>Four Golden Elm trees (Ulmus procera "Louis Van Houtte") south of Gloucester House;</i></li> <li>▪ <i>One River Red Gum tree (Eucalyptus camaldulensis) east of the Dolls House;</i></li> <li>▪ <i>One English Oak tree (Quercus robur) and two River Red Gum trees (Eucalyptus camaldulensis) in the junior playground; and,</i></li> <li>▪ <i>One English Oak tree (Quercus robur) and two River Red Gum trees (Eucalyptus camaldulensis) north of the junior tennis courts.</i></li> </ul> |                                |                                     |                      |  |  |                            |                            |
| HO41       | <p>"Melrose"</p> <p>137-163 Harkaway Road, Harkaway</p>  | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO42       | <p>"Piney Ridge"</p> <p>82 Heatherton Road, Endeavour Hills</p> <p>The heritage places comprises:</p> <p><i>All trees on the property.</i></p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO43       | <p>"Westbourne"</p>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | 315 Hessel Road, Harkaway   |                                |                                     |                      |  |  |                            |                            |
| HO44       | “Inveresk”<br>93 High Street and 2 Rutland Road, Berwick  | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO46       | St Andrew’s Uniting Church<br>105-109 High Street, Berwick  | No                             | Yes                                 | Yes                  | No   | No   | No                         | No                         |
| HO47       | “Wickham”<br>37-39 King Road, Harkaway  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO48       | “Kingussie”<br>42 Langmore Lane, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO49       | “Clover Cottage and Garden”<br>54-60 Manuka Road, Berwick<br><b>Statement of significance:</b><br>Statement of Significance: 'Clover Cottage and Garden', 54-60 Manuka Road, Berwick, February 2021 | No                             | No                                  | Yes                  | No   | No   | Yes                        | No                         |
| HO50       | “Minard”<br>62-70 Manuka Road, Berwick<br><b>Statement of significance:</b><br>Statement of Significance: 'Minard', 62-70 Manuka Road, Berwick, March 2019  | No                             | No                                  | No                   | No   | No   | Yes                        | No                         |
| HO51       | “Oatlands”  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <p>15 The Elms and The Elms road reserve, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The whole lot that contains the heritage homestead, the stables and land within two metres of the perimeter of the stables, the cool store and the old cottage home and land within five metres of the perimeter of the cottage.</i></p> <p><i>The heritage place also consists of the trees that line the present driveway which will form a road reserve off Ryelands Drive when the land is subdivided.</i></p> |                                |                                     |                      |  |  |                            |                            |
| HO52       | <p>“Araluen”</p> <p>38S London Crescent, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The heritage park which is depicted as Reserve No. 3 for public open space on PS 649053J in accordance with Planning Permit PInA01188/11.A.</i></p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO53       | <p>“Kilkieran”</p> <p>692 Princes Highway, Berwick</p> <p>The heritage place comprises:</p> <p><i>The Edwardian dwelling and the Magnolia grandiflora tree.</i></p>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO54       | <p>“Dhuringa”</p> <p>59 Peel Street, 4 Elgin Street, part 6 Elgin Street and part 17 Scanlan Street, Berwick</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO55       | "Quarry Hills"<br>31 Quarry Hills Drive, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO56       | "Glen Cairn"<br>21-27 Robinson Road, Narre Warren North   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO57       | "Hillsley" homestead complex and garden<br>Part 90-92 and part 94-104 Robinson Road, Narre Warren North<br><b>Statement of significance:</b><br><i>Statement of Significance: 'Hillsley', November 2020</i> | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO58       | Wilson Botanic Park<br>668 Princes Highway, Berwick   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO60       | "Forres Farm"<br>186-190 A'Beckett Road, Narre Warren North<br>The heritage place comprises:<br><i>Forres Farm farmhouse and land within 10 metres of the perimeter of the house.</i>                       | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO61       | "Essex Park Homestead"<br>13 Aquila Crescent and part 14-16 Essex Park Drive, Endeavour Hills   | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO62       | "The Grattons"<br>8-10 Bailey Road, Narre Warren North<br>The heritage place comprises:   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |



# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <i>The Grattons Edwardian brick farmhouse and land within 10 metres of the perimeter of the house.</i>   |                                |                                     |                      |  |  |                            |                            |
| HO63       | "Glenlea"<br>Part 32-42 Baker Road, Harkaway (Lot 1 TP513415)<br><b>Statement of significance:</b><br><i>Statement of Significance: 'Glenlea', November 2020</i> | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO65       | "Caseldene"<br>31 Brisbane Street, Berwick   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO66       | House and garden<br>Part 8, 9 and 10/11-15 Brisbane Street, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO67       | House and garden<br>64-70 Brisbane Street, Berwick   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO68       | "Glenfalloch"<br>88-92 Brisbane Street, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO69       | "Burr Hill"<br>3 Burr Hill Court, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO70       | "Four Oaks" homestead (former) and Oak trees<br>13 Cardigan Street and part 10 and 12 Aldridge Street, Endeavour Hills   | No                             | No                                  | Yes - Oak trees      | No   | No   | No                         | No                         |
| HO71       | Christians' Meeting House (former)<br>108 High Street, Berwick   | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO72       | Christ Church Vicarage<br>1 Church Street, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO73       | "Clyde Cottage"<br>11 Clyde Road, Berwick   | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO75       | "Doveton Heights"<br>24 Doveton Avenue, Eumemmerring  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO76       | House<br>37-39 Doveton Avenue, Eumemmerring   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO77       | "Alrose"<br>45 Elgin Street, Berwick  | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO78       | "Gloucester Cottage"<br>1, 2 & 3/66 (and Common Property SP:28672P)<br>Gloucester Avenue, Berwick | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO79       | "Glencairn"<br>159-165 Greaves Road, Narre Warren South   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO80       | "Wandeen Farm"<br>191-207 Harkaway Road, Harkaway   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO83       | "Greenacres"<br>178 Hessel Road, Harkaway<br>The heritage place comprises:                        | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <i>The existing bungalow built in the 1930s and land within 50 metres of the perimeter of this building.</i>        |                                |                                     |                      |  |  |                            |                            |
| HO84       | Mechanics Institute and Free Library<br>13-15 High Street, Berwick  | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO85       | Shops<br>71-75 High Street, Berwick   | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO87       | Rechabite Hall<br>106 High Street, Berwick  | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO88       | House and garden<br>123 High Street, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO89       | St Michaels Church and School<br>125 High Street, Berwick<br>The heritage place comprises:<br>The 1934 Church only. | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO90       | “Lumeah”<br>163 High Street, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO91       | Berwick Cemetery<br>16 Inglis Road, Berwick   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO92       | “Quorn Cottage”<br>26-30 Inglis Road, Berwick   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO93       | “Grasmere”  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <p>27 Inglis Road, Berwick</p> <p>The heritage place comprises:</p> <p><i>All land and buildings included in a rectangle extending from the south-western corner of the 1950s implement shed, along the western edge of that building for a distance of 65 metres, and along the southern edge of that building for a distance of 85 metres. The heritage place also includes the Golden Oak tree and land beneath and beyond the canopy edge for a distance of five metres from the canopy edge.</i></p> |                                |                                     |                      |  |  |                            |                            |
| HO94       | <p>"Treverbyn"</p> <p>38 King Road, Harkaway</p>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO95       | <p>"Kalimna"</p> <p>13-25 King Road, Harkaway</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO96       | <p>"Harkaway Hall"</p> <p>56-68 King Road, Harkaway</p>   | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO97       | <p>"Nichol House"</p> <p>63 King Road, Harkaway</p>   | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO98       | <p>Harkaway Primary School</p> <p>65 King Road, Harkaway</p> <p>The heritage place comprises:</p> <p><i>A single room brick building built circa. 1876 and land within 10 metres of the perimeter of the building.</i></p>  | Yes                            | Yes                                 | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO99       | Post Office (former)<br>68-70 King Road and rear of 6-8 Olive Avenue, Harkaway  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO100      | "Pine Lodge"<br>146-168 King Road, Harkaway   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO101      | House and garden (former Doctor's Surgery and Residence)<br>26-30 Langmore Lane, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO102      | "Yarrimbah"<br>238-334 Narre Warren North Road, Narre Warren North  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO103      | "Myuna Farm"<br>182 Kidds Road, Doveton   | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO104      | "Strathard"<br>6 Oldhome Court, Narre Warren South<br><br>The heritage place comprises:<br>Strathard 1930 homestead and land within 10 metres of the building to the north, east and west and land within five metres to the south. | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO105      | Christ Church (Anglican) (former)<br>Part 2-6 and 8 Palmerston Street and 9 Church Street, Berwick  | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO106      | "Kinross"   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | 41-43 Palmerston Street, Berwick  |                                |                                     |                      |  |  |                            |                            |
| HO107      | <p>Berwick Primary School (former)</p> <p>1-11 Peel Street, Berwick</p> <p>The heritage place comprises:</p> <p><i>The brick building on the south-western corner of the site, which includes the 1869-70 brick classroom and circa 1920 additions. The heritage place also includes the English Oak tree (Quercus robur), two Italian Cypress trees (Cupressus sempervirens) and the Arizona Cypress tree (Cupressus glabra) at the corner of Lyall and Peel Street, and land beneath the canopy edge of these trees for a distance of five metres from the canopy edge.</i></p> | Yes                            | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO108      | <p>House and garden (former "Sunbury")</p> <p>61 Peel Street, Berwick</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO109      | <p>Hallam's Road Hotel</p> <p>241-245 Princes Highway, Hallam</p>   | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO110      | <p>House and garden (former Treeby)</p> <p>31-35 Robinson Road, Narre Warren North</p> <p><b>Incorporated plan:</b></p> <p><i>Treeby Cottage Incorporated Plan, August 2019</i></p>   | No                             | No                                  | Yes                  | No   | No   | Yes                        | No                         |
| HO111      | <p>"Harkaway Farm"</p> <p>2-30 Rowallan Avenue, Harkaway</p>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO112      | <p>"Rowallan Farm"</p>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | 15-25 Rowallan Avenue, Harkaway  |                                |                                     |                      |  |  |                            |                            |
| HO113      | “Sweeney House”<br>8-10 Scanlan Street, Berwick  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO115      | House and garden (former 60-62 Shrives Road)<br>Part 4 and part 5, 6, 7 and 9 Dargo Close and part Shrives Road reserve, Narre Warren South                            | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO116      | Mechanics Institute<br>59 Webb Street, Narre Warren  | Yes                            | Yes                                 | Yes                  | No   | No   | No                         | No                         |
| HO117      | House and garden (Chadwick Farm)<br>68-84 Chadwick Road, Harkaway  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO118      | New Ardblair<br>65 Beaumont Road, Berwick  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO119      | Robertson’s property (former)<br>456 Belgrave-Hallam Road, Narre Warren North  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO120      | Harkaway Cemetery and Bell Tower<br>Hessell Road, Harkaway   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO122      | Lysterfield Lake Weir and Reservoir<br>15 Reservoir Road, Narre Warren North<br>The heritage place comprises:<br><i>The weir located within Lysterfield Lake Park.</i> | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO123      | “Wingilla”   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | 1-5 Bluff Road, Cannons Creek  |                                |                                     |                      |  |  |                            |                            |
| HO124      | House and garden<br>4 Central Road, Hampton Park   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO125      | Hill Farm<br>415 Clyde-Fiveways Road, Clyde  | No                             | No                                  | Yes                  | No   | No   | Yes                        | No                         |
| HO126      | Menenia Park<br>71 Craig Road, Cranbourne South  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO127      | Valentine Park Moreton Bay Fig tree<br>171 Waterbush Crescent, Lyndhurst<br>The heritage place comprises:<br><i>The Moreton Bay Fig tree and land beneath and beyond the canopy edge for a distance of 10 metres from the canopy edge.</i> | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO128      | Eclipse Park Stud<br>21S Biscay Grove , Lyndhurst<br>The heritage place comprises:<br>Eclipse Park Stud farmhouse and land within 10 metres of its perimeter.  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO129      | “Eyrecourt”<br>221S Grices Road, Clyde North<br><b>Statement of significance:</b>  | No                             | Yes                                 | Yes                  | No   | No   | Yes                        | No                         |



# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply?              | Tree controls apply?                           | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|--|--|--|--|----------------------------|----------------------------|
|            | <i>Statement of Significance: 'Eyrecourt', November 2020</i>   |                                |  |  |  |  |                            |                            |
| HO130      | Southside Lodge (former "Kurrajong")<br>465 Pattersons Road, Clyde   | No                             | No   | Yes  | No   | No   | Yes                        | No                         |
| HO131      | "Maratala" (former "Farnham")<br>130 Sladen Street, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: Maratala</i>  | Yes                            | Yes - entrance hall, living room and dining room | Yes - Camphor Laurel on Sladen Street boundary | No   | No   | No                         | No                         |
| HO133      | "Willandra"<br>130 Tuckers Road, Clyde   | No                             | No   | Yes  | No   | No   | Yes                        | No                         |
| HO134      | "Fernlea"<br>75 Tuckers Road, Clyde  | No                             | No   | Yes  | No   | No   | Yes                        | No                         |
| HO135      | St Agatha's Catholic Church (former)<br>150-156 & 158 (part) South Gippsland Highway, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: St Agatha's Catholic Church (former), August 2020</i> | Yes                            | No   | Yes - row of eight Bhutan Cypress trees        | No   | No   | No                         | No                         |
| HO136      | St Peter's Tooradin<br>South Gippsland Highway, Tooradin   | Yes                            | Yes  | Yes  | No   | No   | No                         | No                         |
| HO137      | "Springmont"<br>1450 Thompsons Road, Cranbourne East   | No                             | No   | Yes  | No   | No   | Yes                        | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO138      | Royal Botanic Gardens Cranbourne<br>1000 Ballarto Road, Cranbourne   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO139      | McMorran's Oak Tree<br>125 (part) South Gippsland Highway,<br>Cranbourne (opposite Brunt Street)<br><b>Statement of Significance:</b><br><i>Statement of Significance: Mc Morran's Oak Tree, August 2020</i> | No                             | No                                  | Yes - Oak tree       | No   | No   | No                         | No                         |
| HO140      | Gum trees<br>Near 71 Pound Road, Hampton Park  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO141      | Cranbourne Cemetery and monuments<br>80 Sladen Street, Cranbourne  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO142      | Avenue of Honour<br>South Gippsland Highway, Cranbourne  | -                              | -                                   | -                    | -  | Yes<br>Ref:<br>H2345   | Yes                        | No                         |
| HO143      | Part of Avenue of Honour (Flowering Gum trees)<br>South Gippsland Highway, Tooradin  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO144      | "Warren Park"<br>319 Hallam North Road, Lysterfield South  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO145      | Churchill National Park (part of former Police Paddocks)<br>Churchill Park Drive, Lysterfield<br>The heritage place comprises:   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply?     | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|--------------------------|--|--|----------------------------|----------------------------|
|            | <i>The northern boundary dam, aqueduct, siphon, the granite quarry located off Stonemasons Track, the Dandenong Shire Quarry located off Boundary Track and five metres of land surrounding these artifacts.</i> |                                |                                     |                          |  |  |                            |                            |
| HO147      | St John's Church of England Vicarage (former)<br>34 Bakewell Street, Cranbourne<br><b>Statement of Significance:</b><br>Statement of Significance: St John's Church of England Vicerage (former), August 2020    | No                             | No                                  | Yes -<br>Peppercorn tree | No   | No   | No                         | No                         |
| HO148      | House<br>10 Ballarto Road, Clyde   | No                             | No                                  | No                       | No   | No   | No                         | No                         |
| HO149      | Perry (Male) Cottage<br>103 Baxter-Tooradin Road, Pearcedale   | Yes                            | No                                  | No                       | No   | No   | No                         | No                         |
| HO150      | St Peter's Church of England<br>46 Baxter-Tooradin Road, Pearcedale  | No                             | Yes                                 | No                       | Yes  | No   | No                         | No                         |
| HO151      | Farmhouse and trees<br>305 Berwick-Cranbourne Road, Cranbourne<br>The heritage place comprises:<br><i>The farmhouse and Italian Cypress and all land within the mapped overlay.</i>                              | No                             | No                                  | Yes                      | No   | No   | Yes                        | No                         |
| HO152      | "Tulliallan"<br>1/805, Berwick-Cranbourne Road, Cranbourne North   | No                             | No                                  | Yes                      | Yes  | No   | Yes                        | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <p>The heritage place comprises:</p> <p><i>The circa 1860 cottage and associated gardens, together with the avenue of English Elm trees along the former driveway extending to Berwick-Cranbourne Road</i></p> <p><b>Incorporated plan:</b> Tulliallan Incorporated Plan, June 2013</p>  |                                |                                     |                      |  |  |                            |                            |
| HO153      | <p>“Brechin Gardens”</p> <p>Brechin Drive, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>All elements of particular significance, as identified in the Brechin Gardens Incorporated Plan.</i></p> <p><b>Incorporated plan:</b> Brechin Gardens Incorporated Plan, April 2019</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO154      | <p>House</p> <p>65-67 Brisbane Street, Berwick</p>   | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO155      | <p>Avenue of Honour (Berwick Boys Grammar School)</p> <p>Church Street, part common area 11 Church Street, part 1/11 Church Street, part 4/11 Church Street and part 72-74 Brisbane Street, Berwick</p> <p>The heritage place comprises:</p> <p><i>The memorial plaque and memorial row planting of seven oak trees comprising the Avenue, together with the land covered by each tree’s canopy and the land beyond the edge of each canopy for a distance of five metres.</i></p> | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO156      | "Anunaka Mansion"<br>37 Churchill Park Drive, Endeavour Hills<br>The heritage place comprises:<br><i>The circa 1945 house and land from a distance of metres behind the house to the street frontage and the property's eastern boundary.</i> | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO157      | Graham family home<br>119a Clarendon Street, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: Graham family home, August 2020</i>   | Yes                            | No                                  | No                   | No   | No   | No                         | No                         |
| HO160      | House<br>71 East Road, Pearcedale<br>The heritage place comprises:<br><i>The 1922 house and land extending to East Road and on other sides for a distance of five metres from the walls of the house.</i>                                     | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO161      | Tooradin Foreshore Reserve Precinct<br>Foreshore Reserve, Tooradin  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO162      | Fountain Gate Estate Precinct<br>The heritage place comprises:<br><i>The entry feature to the estate, the estate layout and the houses at 5 Fountain Drive, 7 Fountain Drive, 11 Fountain Drive, 15 Fountain Drive, 7 Green Ridge</i>         | No                             | No                                  | No                   | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <i>Avenue, 7 Hollydene Court, 2 Oakwood Court, 7 Oakwood Court, 2 Pinelands Court, 3 Pinelands Court, 9 Pinelands Court, and 6 and 6A Prospect Hill Road.</i>  |                                |                                     |                      |  |  |                            |                            |
| HO163      | Hayton Park<br>2/660 Hall Road, Cranbourne   | No                             | No                                  | No                   | Yes  | No   | Yes                        | No                         |
| HO164      | Farm complex<br>272 Hardys Road, Clyde North<br>The heritage place comprises:<br><i>The inter-war house, associated farm outbuildings, to a distance of five metres around the buildings, and the land between the buildings and the street.</i> | No                             | No                                  | Yes                  | No   | No   | Yes                        | No                         |
| HO165      | Avenue of Honour<br>Harkaway Road, Harkaway  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO166      | "Tandderwen"<br>369 Heatherton Road, Narre Warren North  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO167      | House<br>191 High Street, Berwick  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO168      | Cranbourne War Memorial<br>Greg Clydesdale Square, 125 (part) South Gippsland Highway, Cranbourne<br><b>Statement of Significance:</b>   | No                             | No                                  | No                   | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | <i>Statement of Significance: Cranbourne War Memorial, August 2020</i>   |                                |                                     |                      |  |  |                            |                            |
| HO169      | Motor Club Hotel<br>38-56 South Gippsland Highway, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: Motor Club Hotel</i> | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO170      | "Wilga"<br>40 King Road, Harkaway  | No                             | No                                  | Yes                  | Yes  | No   | No                         | No                         |
| HO172      | Tooradin Railway Station Precinct (former)<br>Off Langtree Road, Tooradin  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO174      | Kernot's house<br>23 Mickle Street, Tooradin   | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO176      | House<br>3 Mundaring Drive, Cranbourne   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO177      | Pearcedale Public Hall<br>45 Pearcedale Road, Pearcedale   | No                             | Yes                                 | Yes                  | No   | No   | No                         | No                         |
| HO178      | Henry Joseph Moran Reserve<br>Pound Road, Hampton Park   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO179      | House<br>3-5 Princes Domain Drive, Hallam  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO180      | Pearcedale Methodist Church (former)   | No                             | No                                  | No                   | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
|            | 12 Queens Road, Pearcedale   |                                |                                     |                      |  |  |                            |                            |
| HO181      | Clyde Methodist Church (former)<br>26 Railway Road, Clyde  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO182      | Clyde General Store and Post Office<br>Cnr of Railway Road and Oroya Grove, Clyde  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO185      | Foreshore Pavilions<br>Rutherford Parade, Warneet<br>The heritage place comprises:<br><i>The two foreshore pavilions, including the buildings and surrounding land to a minimum extent of five metres, together with the land between the pavilions and Rutherford Parade.</i> | Yes                            | Yes                                 | No                   | No   | No   | No                         | No                         |
| HO186      | House<br>15 Rutland Road, Berwick  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO188      | Hampton Park Primary School<br>32 Somerville Road, Hampton Park<br>The heritage place comprises:<br><i>The 1922 school building and surrounding land to a minimum extent of five metres, extending to the frontage of the property.</i>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO189      | Christ Church of England<br>61 South Gippsland Highway, Tooradin   | No                             | Yes                                 | Yes                  | No   | No   | No                         | No                         |



# CASEY PLANNING SCHEME

| PS map ref | Heritage place  | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|---|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO190      | <p>"Stella Maris" (former) Canary Island Palm trees<br/>127-135 South Gippsland Highway, Tooradin</p> <p>The heritage place comprises:</p> <p><i>The three Canary Island Palm trees and associated land extending to the edge of each tree's canopy and beyond for a distance of five metres.</i></p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO191      | <p>Farm complex<br/>2645 South Gippsland Highway, Tooradin</p> <p>The heritage place comprises:</p> <p><i>To the extent of the house and interwar outbuildings and sheds and associated land upto the property boundary along the South Gippsland Highway and to a distance of 20 meters from the outer wall of the house on all other sides.</i></p> | No                             | No                                  | Yes                  | Yes  | No   | No                         | No                         |
| HO194      | <p>Tooradin Public Hall<br/>Tooradin Station Road, Tooradin</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO195      | <p>Former Tooradin State School site and trees<br/>50 Tooradin Station Road, Tooradin</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO196      | <p>Former Narre Warren Primary School<br/>53-55 Webb Street, Narre Warren</p> <p>The heritage place comprises:</p> <p><i>The 1920s former school, the mature English Oak at 53 Webb Street and the two mature Elm Trees at 55 Webb Street.</i></p>  | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply? | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|----------------------|--|--|----------------------------|----------------------------|
| HO197      | <p>“Arborea”</p> <p>1 Williamson Street, Berwick</p> <p>The heritage place comprises:</p> <p><i>The house and all the land as defined by the title boundaries excluding the rear shed, the spa enclosure and the cat enclosure.</i></p>  | No                             | No                                  | No                   | No   | No   | No                         | No                         |
| HO198      | <p>High Street Avenue of Honour</p> <p>High Street (Old Princes Highway), Berwick</p> <p>The heritage place comprises:</p> <p><i>All trees comprising the row, together with the land covered by each tree’s canopy and the land beyond the edge of each tree for a distance of five metres insofar as the land is wholly contained within the High Street (Old Princes Highway) road reserve.</i></p> | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO199      | <p>Avenue of Honour</p> <p>Wilson and Scanlon Streets, Berwick</p> <p>The heritage place comprises:</p> <p><i>All trees comprising the row, together with the land covered by each tree’s canopy and the land beyond the edge of each tree for a distance of five metres, insofar as this area is wholly contained within the Wilson and Scanlon Streets road reserve.</i></p>                         | No                             | No                                  | Yes                  | No   | No   | No                         | No                         |
| HO200      | <p>Fallen tree</p> <p>Road reserve, May Gibbs Crescent, Lynbrook</p>   | No                             | No                                  | Yes                  | No   | No   | No                         | Yes                        |
| HO201      | <p>Tree stump</p>  | No                             | No                                  | Yes                  | No   | No   | No                         | Yes                        |

# CASEY PLANNING SCHEME

| PS map ref | Heritage place   | External paint controls apply? | Internal alteration controls apply? | Tree controls apply?                                    | Outbuildings or fences not exempt under Clause 43.01-4 | Included on the Victorian Heritage Register under the Heritage Act 2017? | Prohibited uses permitted? | Aboriginal heritage place? |
|------------|--|--------------------------------|-------------------------------------|---|--|--|----------------------------|----------------------------|
|            | Council reserve, Durack Avenue, Lynbrook   |                                |                                     |   |  |  |                            |                            |
| HO202      | Clyde Primary School<br>Oroya Crescent, Clyde  | No                             | No                                  | No  | No   | No   | No                         | No                         |
| HO203      | 32 Railway Road, Clyde   | No                             | No                                  | No  | No   | No   | No                         | No                         |
| HO204      | 1755 Ballarto Road, Clyde  | No                             | No                                  | Yes   | No   | No   | Yes                        | No                         |
| HO205      | 20 Railway Road, Clyde   | No                             | No                                  | No  | No   | No   | No                         | No                         |
| HO206      | 14 Railway Road, Clyde   | No                             | No                                  | No  | No   | No   | No                         | No                         |
| HO207      | 2 Railway Road, Clyde  | No                             | No                                  | No  | No   | No   | No                         | No                         |
| HO208      | Avenue of Honour (local significance)<br>Road reserve (west side) South Gippsland Highway, Cranbourne<br><b>Statement of Significance:</b><br><i>Statement of Significance: World War Two Memorial Planting and Plaque Cranbourne, August 2020</i> | No                             | No                                  | Yes - Turkey Oaks and English Oaks in road reserve only | No   | No   | No                         | No                         |
| HO209      | "The Meadows"<br>10 Smiths Lane, Clyde North   | Yes                            | No                                  | No  | No   | No   | Yes                        | No                         |
| HO210      | "Myer House"<br>2-106 Soldiers Road, Berwick   | No                             | No                                  | No  | No   | No   | Yes                        | No                         |

--/--/---  
Proposed C275case

## SCHEDULE TO CLAUSE 53.01 PUBLIC OPEN SPACE CONTRIBUTION AND SUBDIVISION

### 1.0

--/--/---  
Proposed C275case

### Subdivision and public open space contribution

| Type or Location of Subdivision                                   |                               | Amount of contribution for public open space   |
|---|-------------------------------|--|
| All land shown on Plans 1.1 and 1.2 forming part of this schedule |                               |  |
| CR1:  |                               | 10%; or<br>5% for land within Schedule 2 to the Comprehensive Development Zone (CDZ2) and that is subdivided for a purpose other than residential.   |
| CR2:  |                               | 8%   |
| CR3:  |                               | 7.5%   |
| CR4:  |                               | 7%   |
| CR5:  |                               | 5%   |
| CR6:  |                               | 11%  |
| CR7:  |                               | 3.08%  |
| CR8:  |                               | 3.75%  |
| CR9:  |                               | 5.9%   |
| CR10:   | (Land north of Ballarto Road) | 7.52%  |
|   | (Land south of Ballarto Road) | 1.61%  |
| CR11:   |                               | 3.54%  |
| CR12:   |                               | 1.5%   |
| CR13:   |                               | 4.04%<br>As to the composition of the contribution, it must be made in the manner set out and explained in the Cranbourne North Stage 2 Precinct Structure Plan, June 2011.                          |
| CR14:   |                               | 4.21%<br>As to the composition of the contribution, it must be made in the manner set out and explained in the Botanic Ridge Precinct Structure Plan, December 2012.                                 |
| CR15  |                               | 1.85% Employment<br>4.25% Residential<br>As to the composition of the contribution, it must be made in the manner set out and explained in the Thompsons Road Precinct Structure Plan, October 2015. |
| CR16  |                               | 3.99%  |

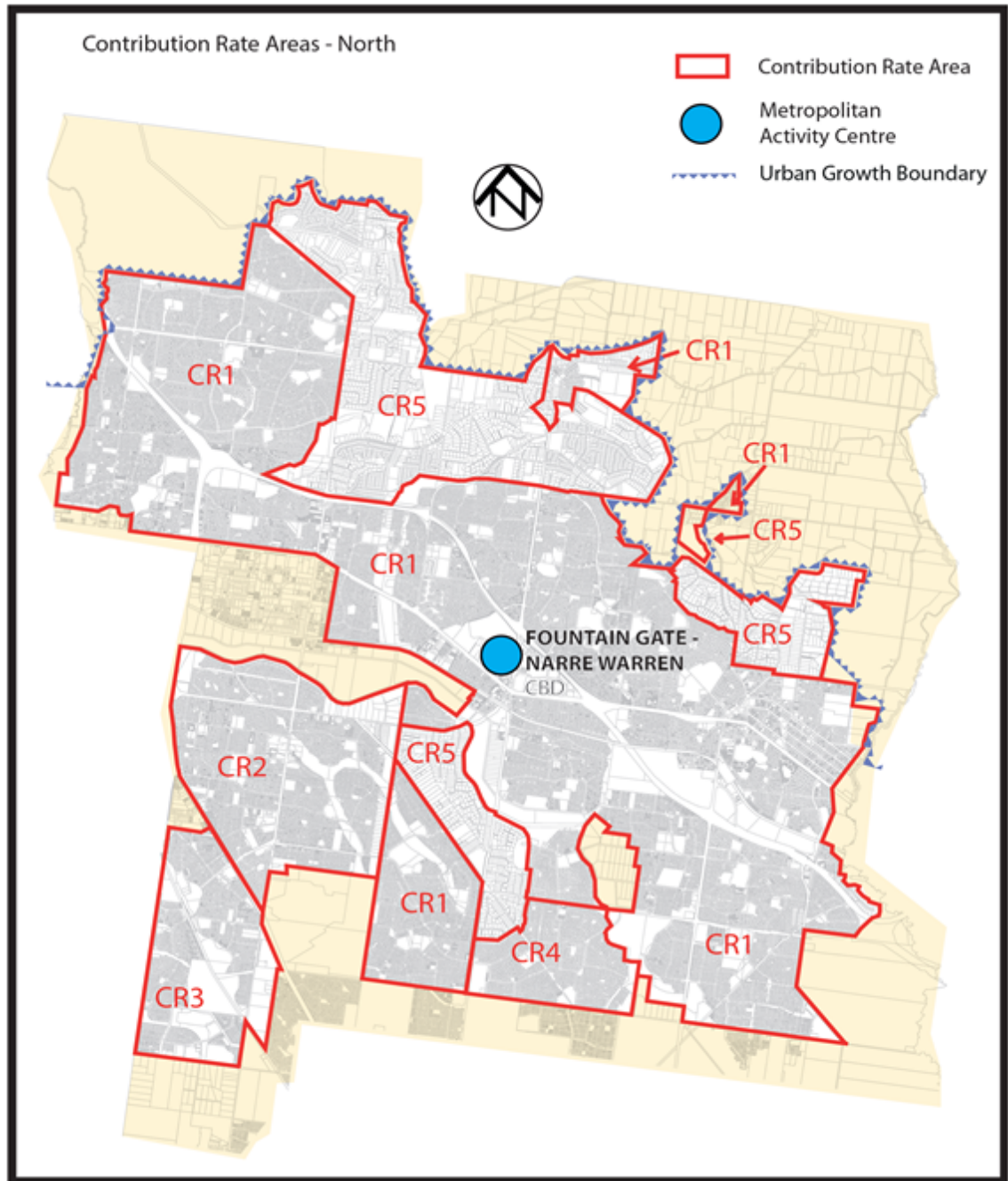
## CASEY PLANNING SCHEME

| Type or Location of Subdivision | Amount of contribution for public open space   |
|---------------------------------|--|
|                                 | As to the composition of the contribution, it must be made in the manner set out and explained in the Clyde Creek Precinct Structure Plan, October 2015.                                 |
| CR17                            | 4.01%<br><br>As to the composition of the contribution, it must be made in the manner set out and explained in the Casey Fields South Residential Precinct Structure Plan, October 2015. |
| CR18                            | 20%<br><br>As to the composition of the contribution, it must be made in the manner set out and explained in the Former Amstel Golf Course Development Plan.                             |
| CR19                            | 5.32%<br><br>As to the composition of the contribution, it must be made in the manner set out and explained in the Brompton Lodge Precinct Structure Plan, August 2016.                  |
| CR20                            | 6.51%<br><br>As to the composition of the contribution, it must be made in the manner set out and explained in the Casey Central Town Centre Precinct Structure Plan, May 2016.          |

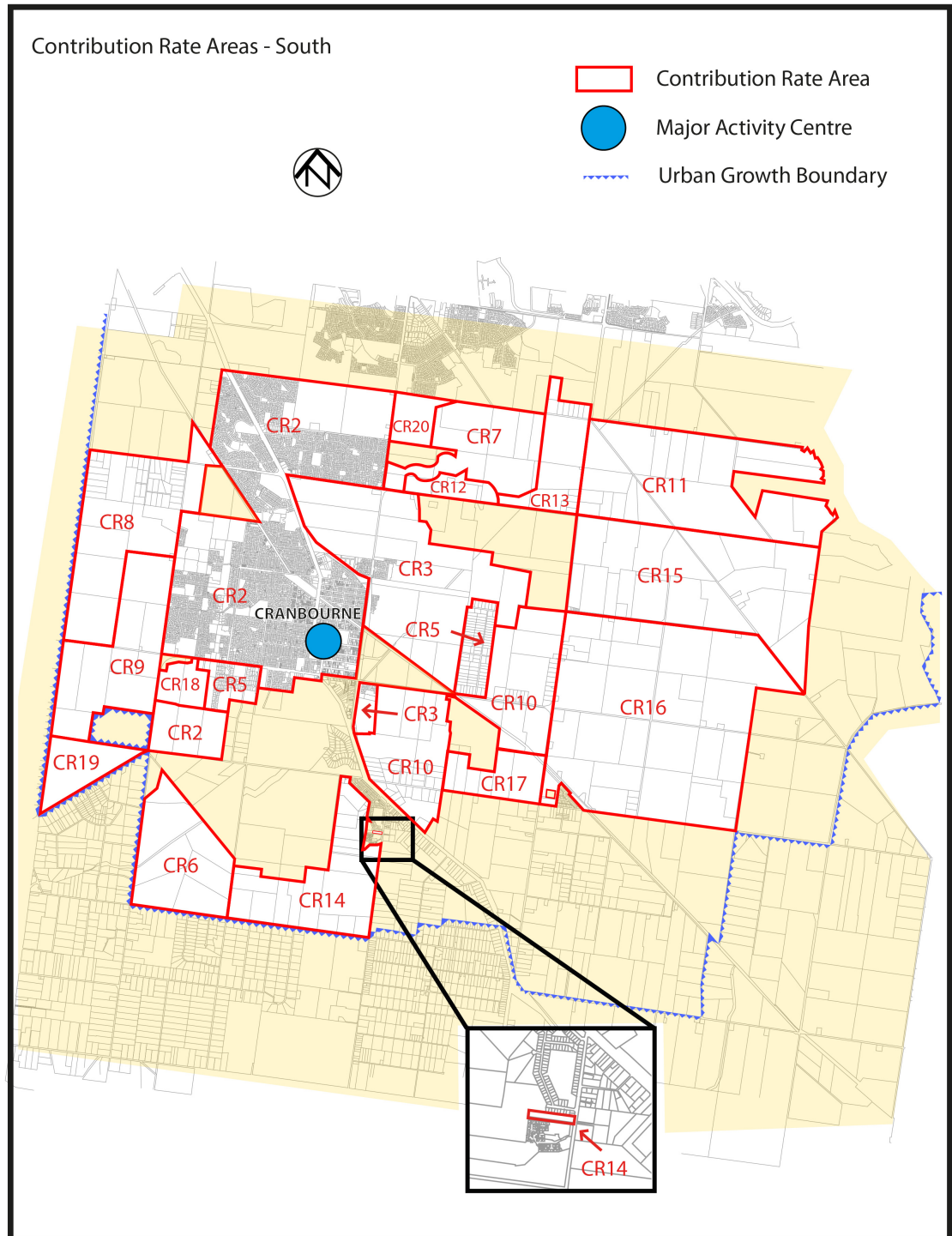
These amounts do not apply to:

- The subdivision of land for existing dwellings.
- The subdivision of any land not in a residential zone, Urban Growth Zone or Precinct Structure Plan area. This exemption does not apply to:
  - Land in Cranbourne North Service Business Precinct (CR12)
  - Land within schedule 2 to the Comprehensive Development Zone.
  - Land identified for residential purposes or located in Precinct 5, in the Fountain Gate-Narre Warren CBD under Schedule 2 to the Activity Centre Zone.
  - Land in Precinct 3 of Schedule 1 to the Activity Centre Zone.
  - The residential portion of a development of land in schedule 1 to the Activity Centre Zone.

Plan 1.1 to Clause 53.01



Plan 1.2 to Clause 53.01



**SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?****1.0**

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Proposed C275case

**Maps comprising part of this planning scheme:**

- 1, 1ESO8, 1HO, 1LSIO, 1SBO, 1BMO
- 2, 2ESO7, 2DPO, 2HO, 2LSIO, 2SBO, 2SLO, 2BMO
- 3, 3ESO8, 3DPO, 3HO, 3LSIO, 3PAO, 3SBO, 3SLO, 3BMO
- 4, 4ESO7, 4ESO8, 4DPO, 4HO, 4LSIO, 4SBO, 4SCO, 4RXO
- 5, 5ESO7, 5ESO8, 5DCPO, 5DPO, 5HO, 5PAO, 5SBO, 5SLO, 5LSIO, 5BMO, 5RXO, 5SCO
- 6, 6ESO8, 6DPO, 6HO, 6LSIO, 6SBO, 6SLO, 6BMO
- 7, 7ESO7, 7ESO8, 7DCPO, 7DDO, 7DPO, 7HO, 7LSIO, 7PAO, 7SBO, 7SCO
- 8, 8ESO7, 8ESO8, 8DCPO, 8DDO, 8DPO, 8EAO, 8HO, 8LSIO, 8PAO, 8SBO, 8SCO
- 9, 9ESO7, 9ESO8, 9DCPO, 9DPO, 9HO, 9ICO, 9LSIO, 9PAO, 9SBO, 9SLO, 9VPO, 9BMO, 9PO, 9SCO
- 10, 10ESO7, 10DCPO, 10DPO, 10HO, 10LSIO, 10PAO, 10SBO, 10SCO
- 11, 11ESO7, 11ESO8, 11DCPO, 11DPO, 11EAO, 11HO, 11LSIO, 11PAO, 11PO, 11SBO, 11SCO
- 12, 12ESO7, 12ESO8, 12DCPO, 12EAO, 12HO, 12ICO, 12LSIO, 12PAO, 12SCO
- 13, 13DCPO, 13EAO, 13ESO, 13ESO7, 13HO, 13ICO, 13IPO, 13LSIO, 13PAO, 13SCO
- 14, 14DCPO, 14DPO, 14EAO, 14ESO, 14ESO7, 14ESO8, 14HO, 14LSIO, 14PAO, 14SBO, 14SCO, 14VPO, 14BMO
- 15, 15DCPO, 15DPO, 15EAO, 15ESO, 15ESO7, 15ESO8, 15HO, 15LSIO, 15PAO, 15PO, 15SBO, 15BMO, 15SCO
- 16, 16ESO8, 16DCPO, 16EAO, 16HO, 16ICO, 16LSIO, 16PAO
- 17, 17ESO, 17ESO7, 17LSIO, 17PAO, 17BMO
- 18, 18ESO, 18ESO7, 18ESO8, 18HO, 18LSIO, 18PAO, 18SLO, 18BMO
- 19, 19ESO, 19ESO8, 19HO, 19LSIO, 19SLO, 19PAO, 19BMO
- 20, 20ESO, 20ESO8, 20HO, 20LSIO, 20 PAO, 20SBO, 20SLO, 20BMO
- 21, 21ESO, 21HO, 21LSIO, 21PAO, 21SLO, 21BMO
- 22, 22ESO, 22ESO8, 22HO, 22LSIO, 22PAO, 22SLO, 22BMO



**SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME****1.0**

--/--/----

Proposed C275case

**Incorporated documents**

| <b>Name of document</b>  | <b>Introduced by:</b> |
|--|-----------------------|
| '2-106 Soldiers Road, Berwick' Incorporated Document, March 2019   | GC120                 |
| Abbotts Road Level Crossing Removal Project, Incorporated Document, November 2017 (amended December 2017)        | GC87                  |
| Berwick Health and Education Precinct Comprehensive Development Plan, April 2021                                 | C207pt1case           |
| Berwick South Development Contributions Plan, City of Casey, April 1998 (Amended September 2020)                 | C279case              |
| Berwick Waterways Development Contributions Plan, October 2014 (Amended June 2017)                               | GC75                  |
| Berwick Waterways Precinct Structure Plan, October 2014 (Amended December 2014)                                  | C182                  |
| Botanic Ridge Development Contributions Plan, December 2012 (Amended September 2017)                             | GC75                  |
| Botanic Ridge Native Vegetation Precinct Plan, December 2012   | C133                  |
| Botanic Ridge Precinct Structure Plan, December 2012 (amended May 2017)  | C227                  |
| Brechin Gardens Incorporated Plan, April 2019  | C224                  |
| Brompton Lodge Development Contributions Plan, August 2016 (Amended July 2017)                                   | GC75                  |
| Brompton Lodge Native Vegetation Precinct Plan, August 2016  | C190                  |
| Brompton Lodge Precinct Structure Plan, August 2016  | C190                  |
| Cardinia Creek South Infrastructure Contributions Plan, March 2019   | C261case              |
| Cardinia Creek South Precinct Structure Plan, March 2018   | C221Pt1               |
| Casey Central Town Centre Precinct Structure Plan, May 2016  | C189                  |
| Casey Cultural Precinct Incorporated Document, August 2014   | C201                  |
| Casey Fields South Residential Precinct Structure Plan, October 2015   | C208                  |
| Caulfield Dandenong Rail Upgrade Project, Incorporated Document, April 2016                                      | GC37                  |
| Clyde Creek Precinct Structure Plan, October 2015  | C208                  |
| Clyde Development Contributions Plan, October 2015 (Amended June 2017)   | GC75                  |
| Clyde North Precinct Structure Plan (including the Clyde North Native Vegetation Precinct Plan) September 2011   | C153                  |
| Clyde North Precinct Structure Plan Development Contributions Plan, August 2011 (Amended June 2017)              | GC75                  |
| Clyde Road, Berwick Level Crossing Removal Project Incorporated Document, February 2020                          | C270case              |
| Cranbourne East Precinct Structure Plan (including the Cranbourne East Native Vegetation Precinct Plan) May 2010 | C119                  |
| Cranbourne East Precinct Structure Plan Development Contributions Plan, May 2010                                 | C119                  |
| Cranbourne Line Upgrade Incorporated Document, February 2020   | GC143                 |

## CASEY PLANNING SCHEME

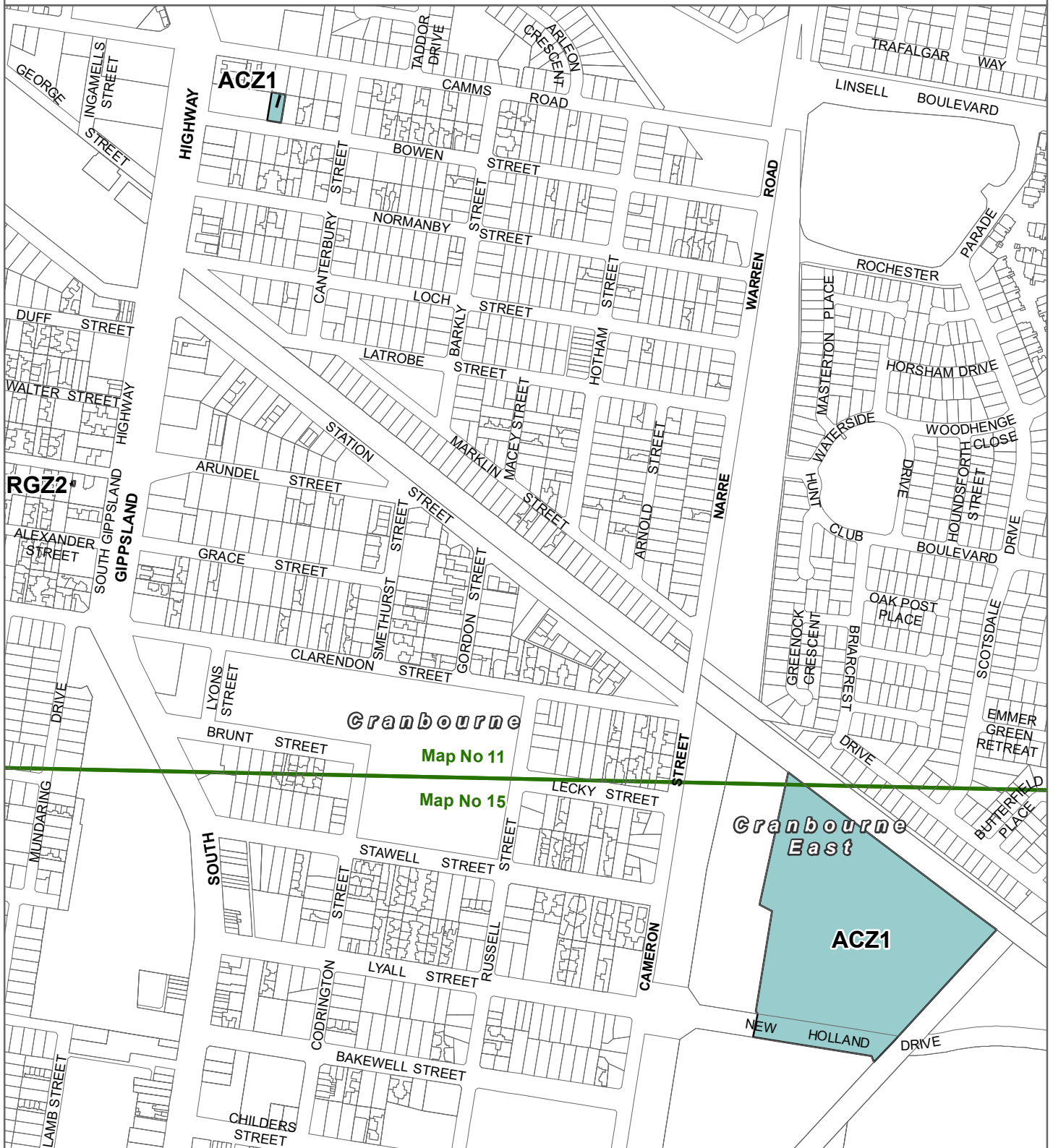
| Name of document   | Introduced by: |
|--|----------------|
| Cranbourne North Precinct Structure Plan Development Contributions Plan, June 2011 (Amended June 2017)   | GC75           |
| Cranbourne North Stage 2 Precinct Structure Plan (including the Cranbourne North Stage 2 Native Vegetation Precinct Plan), June 2011                   | C125           |
| Cranbourne Racing Complex and Surrounds Investment and Development Plan, City of Casey, January 2015   | C166           |
| Cranbourne West Development Contributions Plan, City of Casey, August 2015 (Amended August 2017)   | GC75           |
| Cranbourne West Precinct Structure Plan, City of Casey, May 2012   | C159           |
| Development Contribution Plan for Local Structure Plan 3 Cranbourne - East, 7 July 2015  | C212           |
| Evans Road, Lyndhurst Level Crossing Removal Project Incorporated Document, June 2019  | C267case       |
| Fountain Gate-Narre Warren CBD Development Contributions Plan – Development Contribution Rates and Explanatory Material - City of Casey, January 2011  | C146           |
| Hallam North Road (Heatherton Road to James Cook Drive) Upgrade Project Incorporated Document, February 2019   | C260case       |
| Lyndhurst Development Contributions Plan, November 2015  | C218           |
| Lyndhurst Neighbourhood Activity Centre Comprehensive Development Plan, City of Casey, October 2009  | C102           |
| Melbourne Metro Rail Project: Upgrades to the Rail Network Incorporated Document, May 2018   | GC96           |
| Minta Farm Infrastructure Contributions Plan, April 2021   | C269case       |
| Minta Farm Precinct Structure Plan, October 2018 (Amended April 2021)  | C282case       |
| Monash Freeway Upgrade Project Incorporated Document, March 2016   | GC47           |
| Monash Freeway Upgrade Project (Stage 2) Incorporated Document, August 2018  | GC103          |
| Narre Warren - Cranbourne Road (Thompsons Road to South Gippsland Highway) Upgrade Project Incorporated Document, May 2019                             | C262case       |
| Site-Specific Control – Units 2 & 3/270 South Gippsland Highway, Cranbourne, Use of the land as a shop for the sale of fishing supplies, November 2010 | C141           |
| <i>Small Lot Housing Code</i> (Victorian Planning Authority, November 2019)  | GC150          |
| South Gippsland Highway, Dandenong South Level Crossing Removal Project Incorporated Document, September 2019  | GC136          |
| Statement of Significance: 'Clover Cottage and Garden', 54-60 Manuka Road, Berwick, February 2021  | C231case       |
| Statement of Significance: Cranbourne War Memorial, August 2020  | C275case       |
| Statement of Significance: 'Eyre Court', 221S Grices Road, Clyde North, November 2020  | C230case       |
| Statement of Significance: 'Glenlea', 32-42 Baker Road, Harkaway, November 2020  | C230case       |
| Statement of Significance: Graham Family Home, August 2020   | C275acse       |
| Statement of Significance: 'Hillsley', 90-104 Robinson Road, Narre Warren North, November 2020   | C230case       |
| Statement of Significance: Maratala, August 2020   | C275case       |

## CASEY PLANNING SCHEME




| Name of document  | Introduced by: |
|---|----------------|
| Statement of Significance: McMorran's Oak Tree, August 2020   | C275case       |
| Statement of Significance: 'Minard', 62-70 Manuka Road, Berwick, March 2019   | C231case       |
| Statement of Significance: Motor Club Hotel, August 2020  | C275case       |
| Statement of Significance: St Agatha's Catholic Church (former), August 2020  | C275case       |
| Statement of Significance: St John's Church of England Vicarage (former), August 2020   | C275case       |
| Statement of Significance: St John the Evangelist Church of England Complex, August 2020  | C275case       |
| Statement of Significance: The Cranbourne Shire Offices, Public Hall, Court House and Post Office Complex (former), August 2020 | C275case       |
| Statement of Significance: 'Quilly Park', Part 55 Craigs Lane, Pearcedale, November 2020  | C230case       |
| Statement of Significance: World War Two Memorial Planting and Plaque, August 2020  | C275case       |
| Thompsons Road Precinct Structure Plan, October 2015  | C208           |
| Treeby Cottage Incorporated Plan, August 2019   | C192case       |
| Tulliallan Incorporated Plan, June 2015   | C215           |
| Victorian Desalination Project Incorporated Document, June 2009   | C140           |
| Western Port Highway Upgrade Project Incorporated Document, August 2021   | GC182          |

# CASEY PLANNING SCHEME - LOCAL PROVISION

## AMENDMENT C275case



### LEGEND

-  ACZ - Activity Centre Zone
-  RGZ - Residential Growth Zone
-  Local Government Area

Part of Planning Scheme Maps 11 & 15

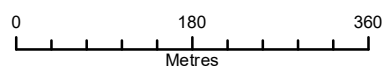


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# CASEY PLANNING SCHEME - LOCAL PROVISION

## AMENDMENT C275case



### LEGEND

-  D-ESO - Area to be deleted from an Environmental Significance Overlay
-  Local Government Area

### Disclaimer

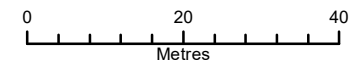
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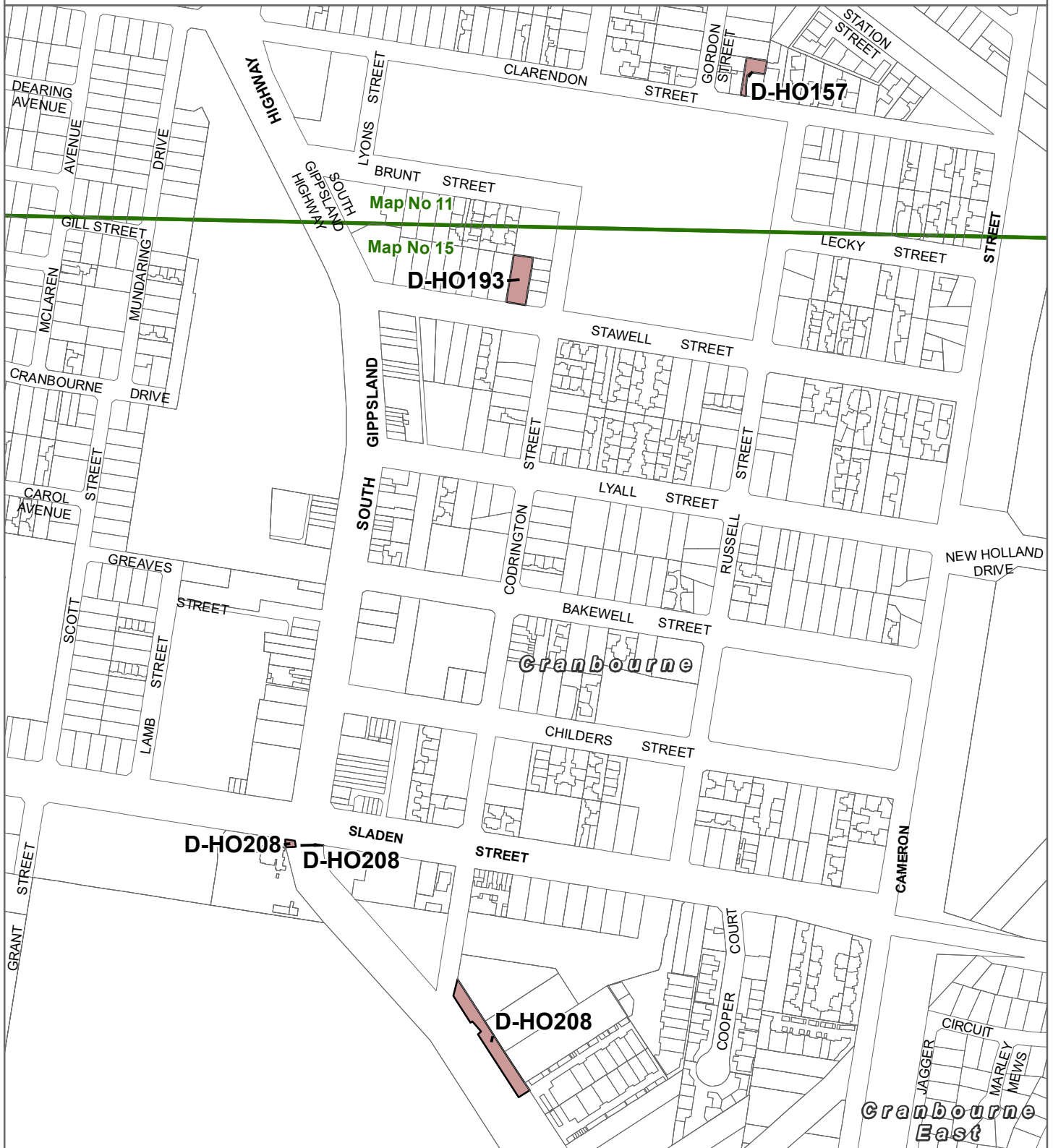
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Part of Planning Scheme Map 15ESO



# CASEY PLANNING SCHEME - LOCAL PROVISION

## AMENDMENT C275case



### LEGEND

- D-HO - Area to be deleted from a Heritage Overlay
- Local Government Area

Part of Planning Scheme Maps 11HO & 15HO

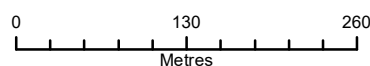


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# CASEY PLANNING SCHEME - LOCAL PROVISION

## AMENDMENT C275case



### LEGEND

-  ESO8 - Environmental Significance Overlay - Schedule 8
-  Local Government Area

### Disclaimer

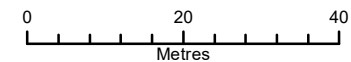
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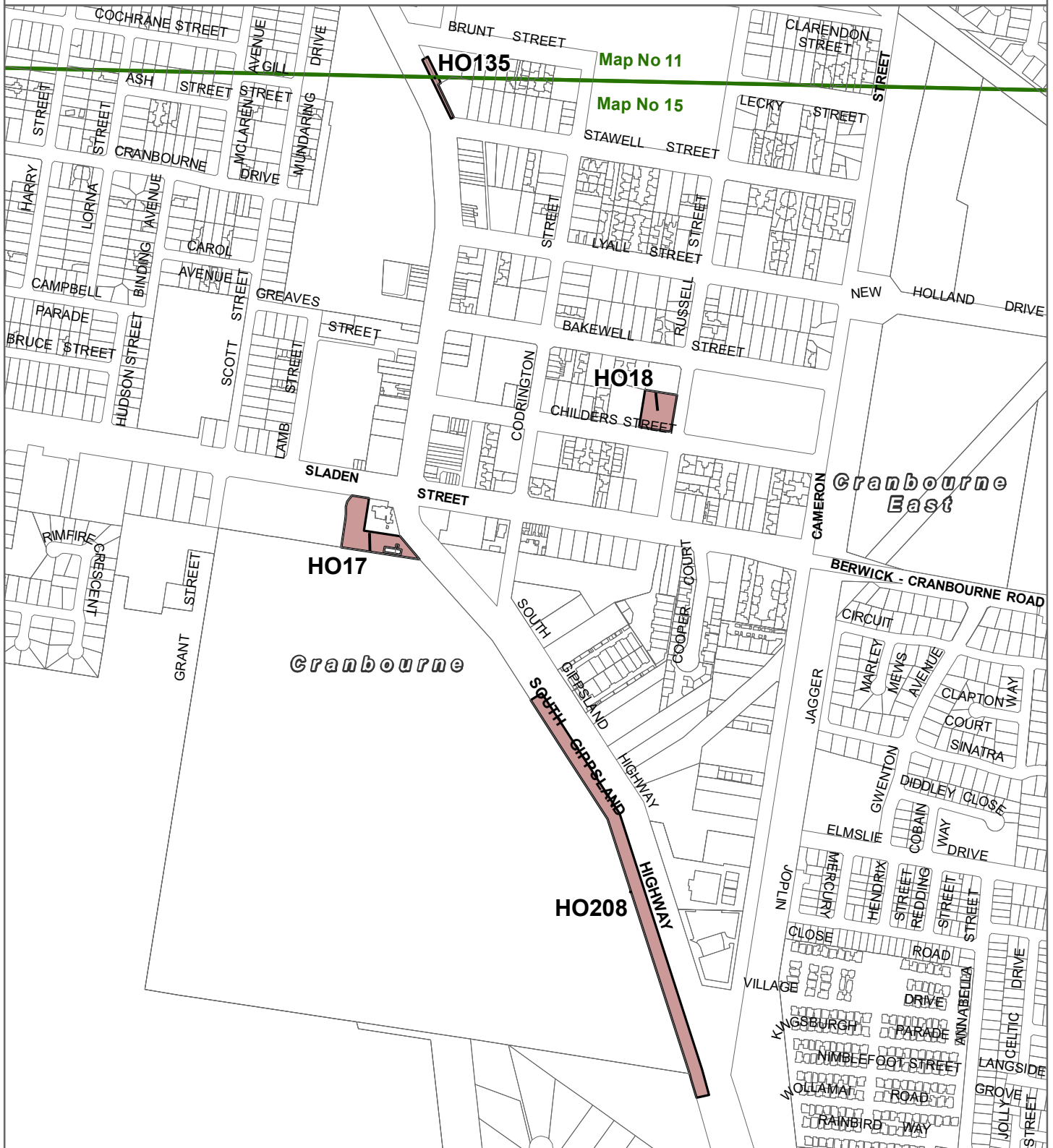
Part of Planning Scheme Map 15ESO





# CASEY PLANNING SCHEME - LOCAL PROVISION

## AMENDMENT C275case



### LEGEND

- HO - Heritage Overlay
- Local Government Area

Part of Planning Scheme Maps 11HO & 15HO

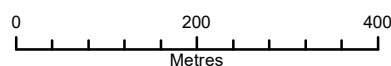


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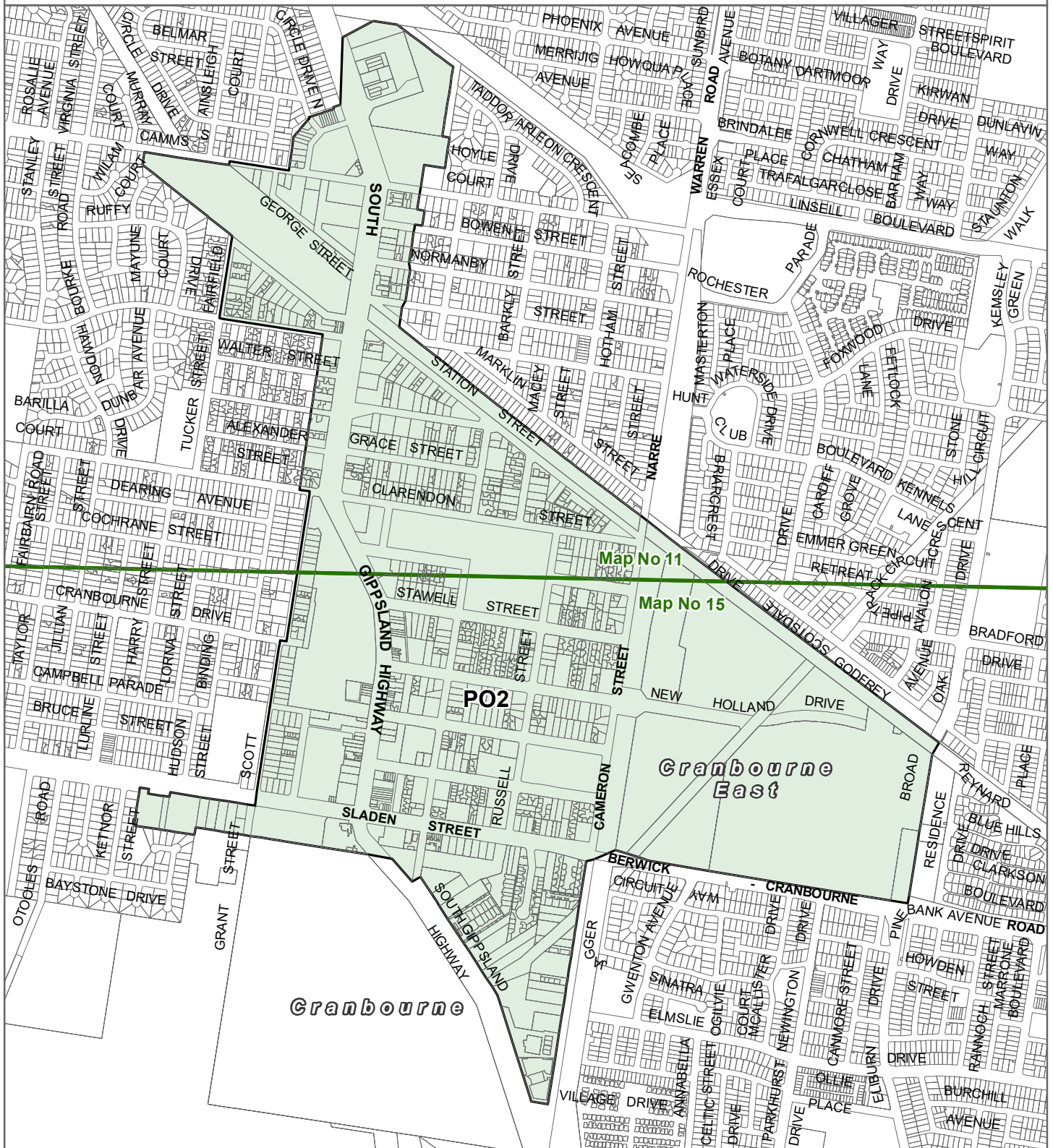


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# CASEY PLANNING SCHEME - LOCAL PROVISION

## AMENDMENT C275case



### LEGEND

- PO2 - Parking Overlay - Schedule 2
- Local Government Area

Part of Planning Scheme Maps 11PO & 15PO

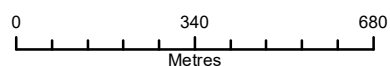


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